

A G E N D A

THE HAMILTON COUNTY BOARD OF ZONING APPEALS

REGULAR MEETING

Room 805-B, Administration Building

FEBRUARY 11, 2015

1:00 P.M.

Peggy Roudebush, Chairman/Presiding Officer

1. MEETING CALLED TO ORDER

2. ROLL CALL OF COMMISSIONERS

3. PLEDGE OF ALLEGIANCE

4. SWEARING IN OF WITNESSES

5. ADMINISTRATIVE ITEMS:

ADM03: Approval of minutes from January 14, 2015 regular meeting

6. PUBLIC HEARINGS:

ZONING VARIANCES:

A. CASE: Harrison 2014-04; 11483 New Biddinger Road
REQUEST: To request a variance to allow the construction of an accessory garage structure with more height and area than permitted and located in the front yard area of the property located in an A Residence District
APPLICANT: Charles Hatfield (applicant); Charles & Michelle Hatfield (owners)
LOCATION: 11483 New Biddinger Road, on a private drive off of the west side of New Biddinger Road, north of Carolina Trace Road (Book 560, Page 120, Parcel 121)
TRACT SIZE: Approximately 5.58 acres

CONDITIONAL USES:

A. CASE: Columbia 2013-01; 5400 Red Bank Road
REQUEST: Conditional Use approval to modify a previously approved conditional use plan for a school use located in an existing "B" and "C" Residence District
APPLICANT: Richard S. Thomas, SHP Leading Design (applicant); The Seven Hills School (owner)
LOCATION: 5400 Red Bank Road, on the southeast corner of Red Bank Road and Ellmarie Drive (Book 520, Page 215, Parcel 11)
TRACT SIZE: Approximately 10.79 acres

B. CASE: Columbia 2015-01; 6921 Windward Avenue
REQUEST: To Conditional Use approval for a Type "A" daycare facility located in an existing "C" Residence District
APPLICANT: LaToya Dixon (applicant & owner)
LOCATION: 6921 Windward Avenue, on the south side of Windward Avenue, 300 feet west of Berwick Avenue (Book 520, Page 172, Parcel 419)
TRACT SIZE: Approximately 0.12 acres

C. CASE: Green 11-99; St. Ignatius Church
REQUEST: To modify a previously approved plan for a church use located in an existing "B" Residence and "E" Retail District
APPLICANT: David Sweeny, DPS Architects, LLC. (applicant) Archbishop of Cincinnati (owner)
LOCATION: Green Township: On the northeast corner of Boomer Road and Northbend Road (Book 500, Page 73, Parcels 2, 3 and 69)
TRACT SIZE: Approximately 6.9 acres

7. OLD BUSINESS:

8. NEW BUSINESS:

9. DATE OF NEXT MEETING: March 11, 2015

10. ADJOURNMENT

NOTE: Individuals requiring special accommodations to participate in or attend any meeting or hearing should call the Planning & Development Office at 946-4550, ext. 2 seven days prior to the meeting.

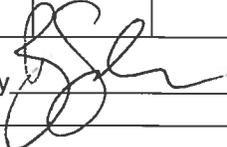
**HAMILTON COUNTY
BOARD OF ZONING APPEALS**

RECORD OF PROCEEDINGS – JANUARY 14, 2015 REGULAR MEETING

PAGE 1

SUMMARY OF ACTIONS

PRESIDING OFFICER: Roudebush
MEMBERS PRESENT: Rosenberger, Spraul, Roudebush
ABSENT: Abercrombie
STAFF PRESENT: Snyder, Ambrosius
LOCATION: Room 805, County Administration Bldg.
TIME: 1:00 PM – 2:25 PM

	AGENDA ITEMS	BZA Action	Vote	Conditions & Codes
SWEARING IN OF WITNESSES:	All those in attendance that provided testimony were sworn in by the Chairman of the Board			
ADMINISTRATIVE ITEMS:	ADM01: Disposition of Minutes from December 10, 2014 ADM02: To elect Peggy Roudebush Chair and Dan Spraul Vice-Chair of the Hamilton County Board of Zoning Appeals for 2015	Approval Approval	3-0-0 3-0-0	
ZONING VARIANCE:	Harrison 2014-04; 11483 New Biddinger Road	Continued	3-0-0	
ATTEST:	Chairman _____	Secretary 		
CONDITIONS AND CODES:	<ol style="list-style-type: none"> 1. Approval subject to standard covenants. 2. Approval subject to conditions recommended in the staff report. 3. Approval subject to conditions recommended by the RZC. 4. Approval pending receipt of favorable reports or required revisions. 5. Approval subject to conditions recommended by BZA. 			
ABBREVIATIONS IN MINUTES:	MSD - Metropolitan Sewer District ODOT - Ohio Department of Transportation SCS - U.S. Soil Conservation Service, Hamilton County Soil and Water Conservation District DPW - Hamilton County Department of Public Works ENG - Hamilton County Engineer ZNG - Hamilton County Zoning Administrator FPO - Township Fire Prevention Officer TPZ - Township Planning/Zoning Committee TT - Township Trustees			

ADMINISTRATIVE ITEMS

ADM01: DISPOSITION OF MINUTES

MOTION: To approve the minutes of the Regular Meeting of the Board of Zoning Appeals, December 10, 2014.

Moved: Spraul Second: Rosenberger

VOTE: AYE: 3 Rosenberger, Roudebush, Spraul
NAY: 0
ABSTAIN:

ACTION:

ADM02: ELECTION OF 2015 OFFICERS

MOTION: To elect Peggy Roudebush Chair and Dan Spraul Vice-Chair of the Hamilton County Board of Zoning Appeals for 2015

Moved: Rosenberger Second: Roudebush

VOTE: AYE: 3
NAY: 0
ABSTAIN: 0

ACTION:

ADJOURNMENT: The meeting was adjourned at 2:25PM

ATTEST: Chairman: _____ Secretary: 

Note: This Record of Proceedings is not an exact transcription, but a condensed version representing the ideas expressed at the Board of Zoning Appeals meeting.

HAMILTON COUNTY
BOARD OF ZONING APPEALS

RECORD OF PROCEEDINGS – JANUARY 14, 2015

PAGE 3

ZONING VARIANCE:

HARRISON ZVHT2014-04; 11483 NEW BIDDINGER ROAD

REQUEST: To request a variance to allow the construction of an accessory garage structure with more area than permitted and located in the front yard area of the property located in an A Residence District

APPLICANT: Charles Hatfield (applicant); Charles & Michelle Hatfield (owners)

LOCATION: 11483 New Biddinger Road, on a private drive off of the west side of New Biddinger Road, north of Carolina Trace Road (Book 560, Page 120, Parcel 121)

TRACT SIZE: Approximately 5.58 acres

SPEAKERS: B. Snyder, C. Hatfield, B. Noes, B. Hoffman

DISCUSSION:

Staff Comments:

1. **B. Snyder** – Review of Secretary's Report
2. Because this is a dimensional variance, the Duncan standards must be used to consider the request.

Applicant Comments:

1. **C. Hatfield** – Based on topography the front yard is the only place to put a garage. The adjacent property was granted a variance for their garage based on the same constraints
2. The garage needs to be large enough to store accessory vehicles that are currently outside as well as other items that are currently in storage facilities.
3. I plan to add landscaping around the entire area.
4. The average height of the retaining wall would be 2 to 5 feet.
5. We are looking to eliminate a retaining wall. We may not need one along the driveway.
6. The rear door would be for ventilation and would not be used for vehicle access.
7. The trees on the west side will help block the view of the structure from the neighboring residence.
8. There is an existing swale and a 12" culvert pipe under the driveway and rock catch basins. Everything will go into the swale which runs down the side of the road to the creek. I don't think that anything we do will change the amount of water that runs down the hill.
9. The equipment goes out on approximately a weekly basis.
10. I will not be running my business out of this property.
11. The lighting on the garage will be similar to what is already on the house.
12. We would be willing to put together a revised plan and have the case continued until next month.

Public Official Comments:

1. **B. Noes** – The Township is concerned about water runoff and erosion. More pine trees and a wall would help. The water needs to be directed in the right direction.
2. The Township is concerned that Mr. Hatfield will be running a business out of the house.
3. The Township is concerned about lighting.

Public Comments:

1. **B. Hoffman** – There is a variance for our garage which is in the front yard, but the structure is much smaller than Mr. Hatfield's request. I am concerned about the precedent that will be set in the neighborhood if this variance is granted.
2. The back corner of the structure would be very close to our property line.

3. I am concerned about the nature of the garage, that it will be used for commercial purposes.
4. The hill is incredibly steep. There will be a river running down the hill from the runoff of this structure. The swale isn't very deep and won't be able to contain the runoff. In the winter it is treacherous due to ice and snow buildup.
5. We do appreciate the pine trees that he is proposing.
6. If this variance is granted Mr. Hatfield will have something that is not enjoyed by others in the neighborhood.
7. This is a special privilege because all of his vehicles don't fit in the current garage, he wants something larger, but that doesn't give him a right to it.
8. This request does not meet the standards for granting a variance.
9. This large structure is a detriment to the rest of the neighborhood.
10. If you do grant a variance, there is a need for more trees to shield neighboring properties and the view coming up the drive.

Board Member Comments:

1. **Ms. Roudebush** – The topography is very difficult in the whole development.
2. I am concerned that there is a fine line between what the applicant considers a business use and what we consider a business use. We have never granted a variance for business use in a residential area.
3. I would like to see a more complete landscape plan that shows buffering along the east, west and south sides. This will be a very visible building. We have to consider the aesthetics. The style and material should be complementary to the house.
4. I would like to see a revised site plan with a 2,000 square foot maximum size and additional landscaping.
5. **Mr. Rosneberger** – You could install two or three rock dams with a 4" or 6" PVC pipe to slow the water when it rushes down the hill.
6. I am concerned about the running of a business out of this garage.
7. We need to see a landscape plan before considering granting this variance.
8. The size of the structure is too large.
9. I would like to see a plan for drainage.
10. **Mr. Spraul** – I am concerned about the applicant using this as a business and feel that there is a need for additional landscaping as well. I would also like to see a plan for drainage and think we should continue this case to get revised plans.

MOTION:

To continue Case Harrison ZVHT2014-04; 11483 New Biddinger Road, a request for a variance to allow the construction of an accessory garage structure with more height and area than permitted and located in the front yard area of the property located in an A Residence District until February 11, 2014.

Moved: Spraul

Second: Rosenberger

VOTE:

AYE: 3 Rosenberger, Roudebush, Spraul
NAY: 0
ABSTAIN:

BZA

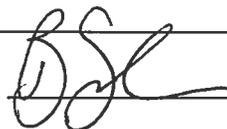
ACTION:

CONTINUED until February 11, 2015

ATTEST:

Chairman: _____

Secretary: _____



Note: This Record of Proceedings is not an exact transcription, but a condensed version representing the ideas expressed at the Hamilton County Board of Zoning Appeals meeting.



SECRETARY'S REPORT

FOR CONSIDERATION BY THE BOARD OF ZONING APPEALS ON DECEMBER 10, 2014

**BZA
CASE:**

HARRISON 2014-04 (Variance Request)

11483 NEW BIDDINGER ROAD

REQUEST: To request a variance to allow the construction of an accessory garage structure with more area than permitted and located in the front yard area of the property located in an "A" Residence District

APPLICANT: Charles Hatfield (applicant); Charles & Michelle Hatfield (owners)

LOCATION: Harrison Township: 11483 New Biddinger Road, on a private drive off of the west side of New Biddinger Road, north of Carolina Trace Road (Book 560, Page 120, Parcel 121)

SITE DESCRIPTION:	Tract Size:	Approximately 5.58 acres
	Frontage:	Approximately 20 feet on New Biddinger Road
	Zone District:	"A" Residence
	Existing Dvlpmt:	Single-family home

SURROUNDING CONDITIONS:	<u>ZONE</u>	<u>LAND USE</u>
North:	"A" Residence	Large lot single-family homes
South:	"A" Residence	Large lot single-family homes
East:	"A" Residence	Large lot single-family homes
West:	"A" Residence	Large lot single-family homes

REQUEST: The applicant has proposed to construct a 2,340 square-foot (36 x 65 foot), 18-foot high detached garage building in the front yard of the single-family property. The property is located on a private driveway within an easement that provides access to 4 additional properties to the south and west. The lot extends across the driveway and the applicant owns property on both sides of the drive. The existing home is located on the east side of the private drive and includes a separate driveway leading to the attached garage. The proposed detached garage would be accessed by a new driveway on the opposite side of the private drive. The garage would include a double door on the southern façade and a single door on the northern façade. The building would be constructed using brick veneer and would include a pitched roof with dimensional shingles to match the home. The applicant states that the increased area is needed to allow storage of multiple recreation vehicles and

trailers and the proposed location is the only suitable location for the garage due to the steep slopes on the remainder of the property.

FINDINGS:

Accessory Structure Variance Request: Accessory structure of 2,340 square feet where a maximum of 2,000 square feet is permitted and located within the front yard where no accessory structures are permitted.

The proposed location of the detached garage would be 25 feet from the edge of the property line to the west, in accordance with the required 25-foot setback. The structure would also be located 25 feet from the edge of the private drive easement. Because of the unusual arrangement of the lot located on both sides of the private drive, the proposed garage would be located on the opposite side of the drive from the home. This would create an unusual appearance and the garage would appear to be on its own property separate from a residence. However, due to the steep topography of the remainder of the lot, there is no location to the rear of the home or on the east side of the driveway where a detached structure could be located.

In addition, the Zoning Resolution does not prevent parking on a paved surface on this portion of the property. The majority of vehicles currently stored on the site could continue to be parked in this location. Construction of the proposed garage would allow these vehicles to be located inside and out of sight. The garage would be constructed partially into the hillside, with retaining walls on both sides of the new driveway that would be visible from the private drive, especially when entering the site from the north. The applicant is proposing 8 evergreen trees along the western property line. However, these trees would better serve to screen this wall and exposed foundation on the east side of the structure. In addition, there is some question as to how the rear of the garage would function as the plans show a garage door to the rear (north) side but no driveway or walkway has been shown.

Aside from the view of the garage when traveling along the private drive to the 4 remaining homes on the drive, the structure would only be visible from one other property. The property immediately to the south would have a clear view of the proposed garage from the area of the adjacent home near their attached garage. Though both properties are greater than 5 acres in area, due to the topography of the area the homes on these properties are very close to one another. However, there appears to be a landscaped area between the two homes that includes several mature evergreen trees. This landscaping effectively screens the view of the proposed garage area from the living portion and windows of the adjacent home.

There have been two other variances granted to homes on this private drive. The applicant was granted a front yard setback variance for the home on the subject site when it was constructed in 2004 from 50 feet to 35 feet. In addition, a variance to allow a detached accessory structure in the front yard was granted for the adjacent property to the west of the subject site. This garage was constructed in the front yard in accordance with the approval. Aside from these previous variances, one of the properties to the west also includes a large barn structure that appears to have been constructed as an agricultural building exempt from zoning. Therefore, the size and location of the proposed garage would not be out of character with properties in the vicinity of the site.

STANDARDS:

Section 10-12.1 – Accessory Structure Area and Height.

Provides in relevant part: “On parcels greater than one (1) acre and having a minimum width of not less than 150 feet at the building line, no more than 2,000 square feet in area...”

Section 10-12.3 – Location.

Provides in relevant part: “No detached garage or storage barn shall be located in the front or side yard...”

This request is a variance based on “practical difficulties” and not based on a “use variance”, “unnecessary hardship” or “undue hardship”. The following factors should be used to determine if the detached garage should be permitted to be 2,340 square feet in size and located within the front yard of the home on the property:

1. Can the property in question yield a “reasonable return” or be used in any beneficial way without the variance?
2. Is the variance a substantial deviation from the zoning code?
3. Will the essential character of the neighborhood be substantially altered or would adjoining properties suffer substantial detriment as a result of the variance?
4. Will the variance adversely affect the delivery of governmental services, such as garbage removal, sewage disposal, or water lines?
5. Did the property owner purchase the property with knowledge of the zoning restrictions?
6. Can the property owner’s predicament be feasibly obviated through some method other than a variance? In other words, does the property owner have a remedy other than a variance, which would alleviate the problem?
7. Will the spirit and intent behind the zoning requirement be observed and substantial justice done by granting the variance?

BOARD’S ACTION:

The Board is to consider the application for a variance to allow the applicant to construct a detached accessory garage with more area than permitted and located within the front yard area on the property in question.

BDS

SITE PHOTOS



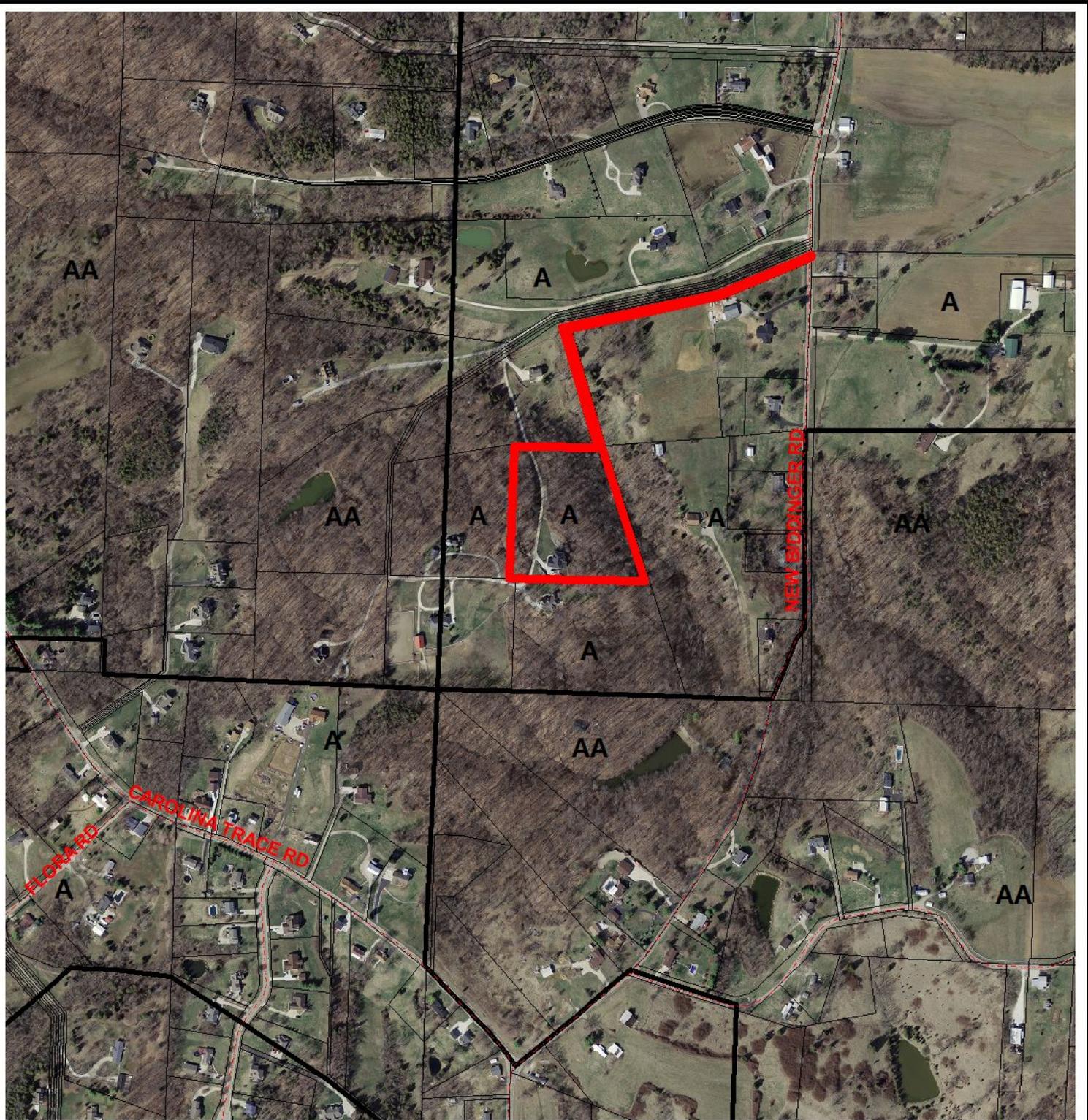
View of site looking south along private drive, home on left, proposed garage location on right



View of site looking north along driveway, proposed garage location on left

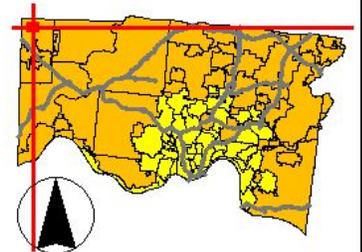


View from proposed garage location looking south towards adjacent home



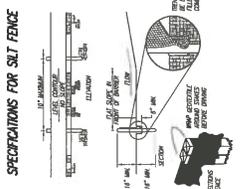
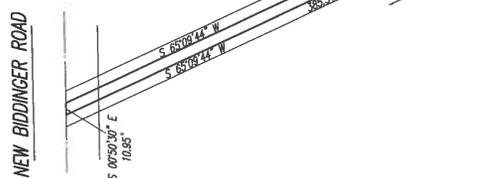
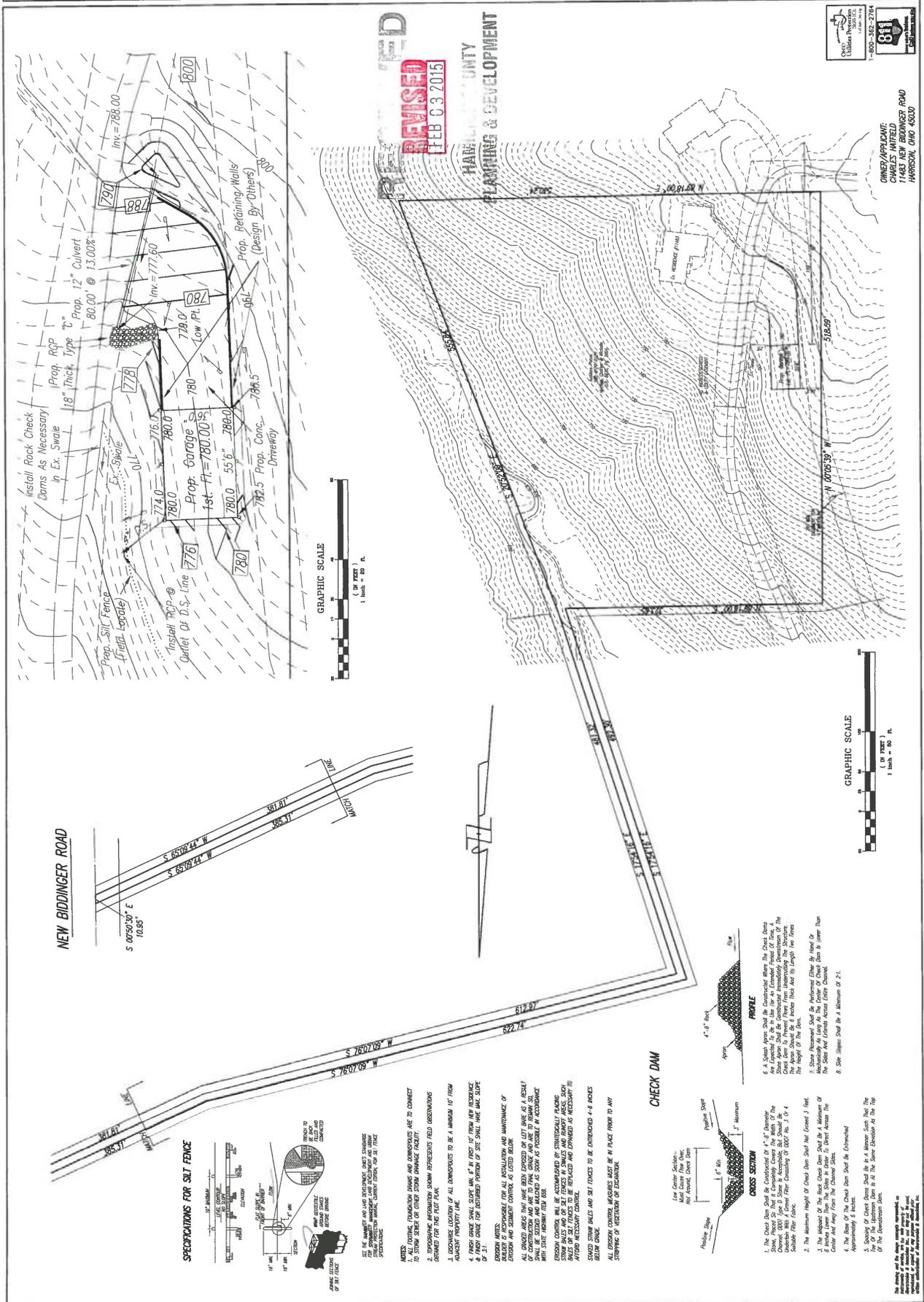
VICINITY MAP

Case: Harrison 2014-04; 11483 New Biddinger Road
Request: Zoning Variance



Printed: 1/6/2015
 Printed By: BRYAN SNYDER

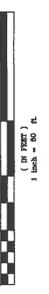
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 In no event will the provider or any party of CAGIS be liable for direct, indirect, incidental, or consequential damages resulting from any defect in the information to any other party of the map product, even if advised of the possibility of such damages. In particular, neither the provider nor any party of CAGIS shall have any liability for any, or for information, programs or data used with or combined with the information provided, including the use of geocoding or information programs or data.
 Any boundaries and flood zone information provided on this map is for conceptual planning purposes only. For official determination of boundaries, recipients must refer to the 1982 FEMA Floodway/Inundation Maps. Large differences may exist between actual flood phone areas and official FEMA floodway areas.



- NOTES:**
1. THE DAM SHALL BE CONSTRUCTED TO WITHSTAND THE FORCE OF THE WATER BEING RETAINED AS SHOWN IN THE DRAWING.
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OWNER/APPLICANT:
 CHARLES HATFIELD
 11483 NEW BIDDINGER ROAD
 HARRISON, OHIO 45030

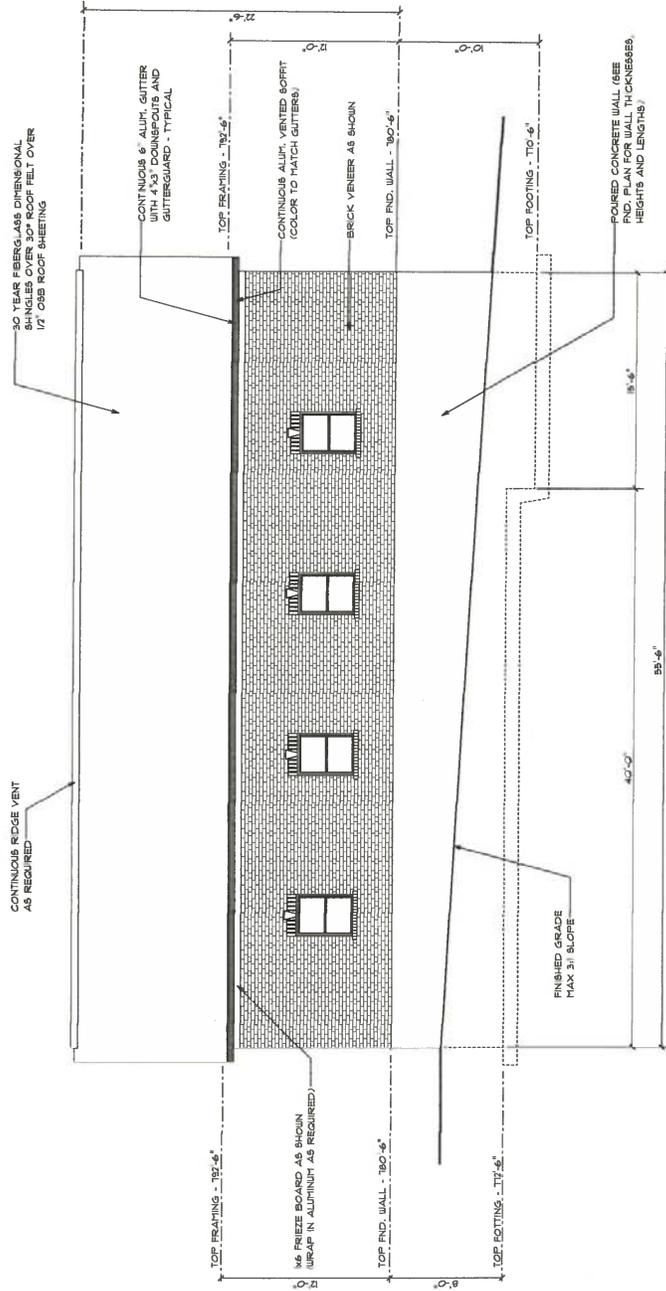
HCS PROPERTY MANAGEMENT LLC
 P.O. BOX 24
 HARRISON, OHIO 45030
 513-604-8311
 hcspm@managementllc.com

DATE: FEBRUARY 1, 2015
 SCALE: 1/4" = 1'-0"
 DRAWN BY: CLH
 JOB NUMBER:
 REVISED:

1483 NEW BIDDINGER RD., HARRISON, OHIO 45030
HATFIELD - NEW DETACHED GARAGE

PROPOSED STRUCTURE FOR:
 DRAWING NUMBER:
2

RECEIVED
PLANNING & DEVELOPMENT
HARRISON CITY
FEB 03 2015



EAST ELEVATION
 SCALE: 1/4" = 1'-0"

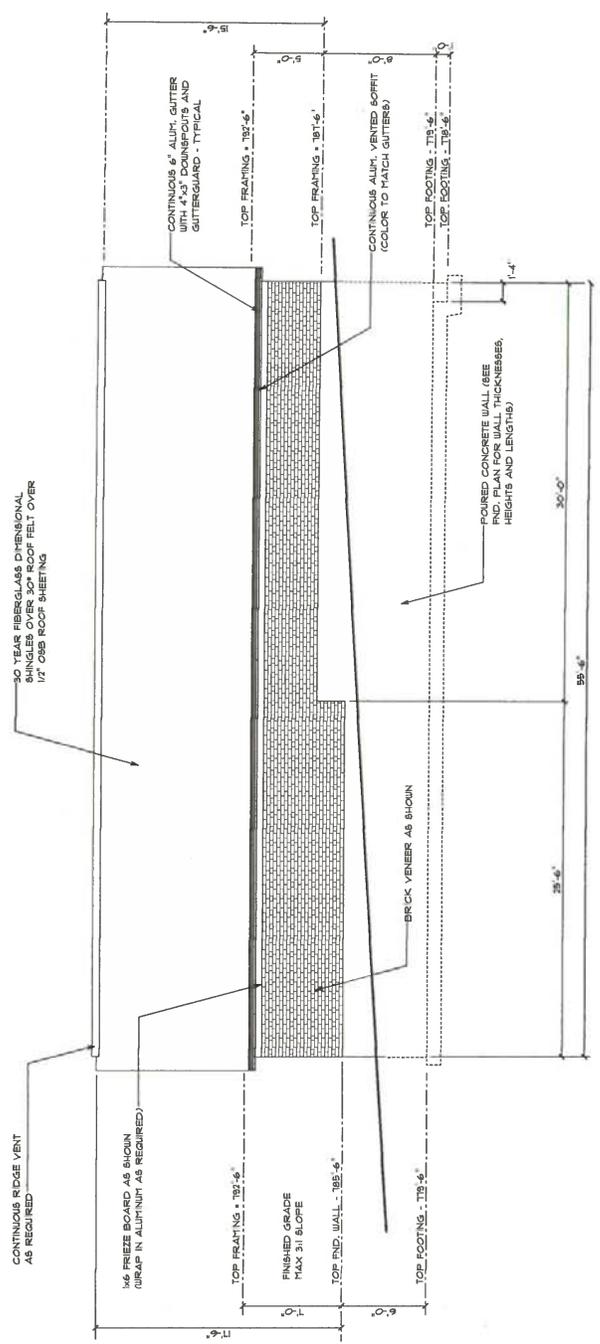
HCB PROPERTY MANAGEMENT LLC
 P.O. BOX 224
 HARRISON, OHIO 45030
 513-664-8371
 hcbpropmanagementsllc@gmail.com

DATE: FEBRUARY 1, 2015
 SCALE: 1/4" = 1'-0"
 DRAIN BY: CLH
 JOB NUMBER:
 REVISED:

PROPOSED STRUCTURE FOR:
HATFIELD - NEW DETACHED GARAGE
 1143 NEW BIDDINGER RD., HARRISON, OHIO 45030

DRAWING NUMBER
3

RECEIVED
REVISER
 FEB 03 2015
 HAMILTON COUNTY
 PLANNING & DEVELOPMENT



WEST ELEVATION
 SCALE: 1/4" = 1'-0"

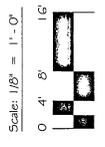
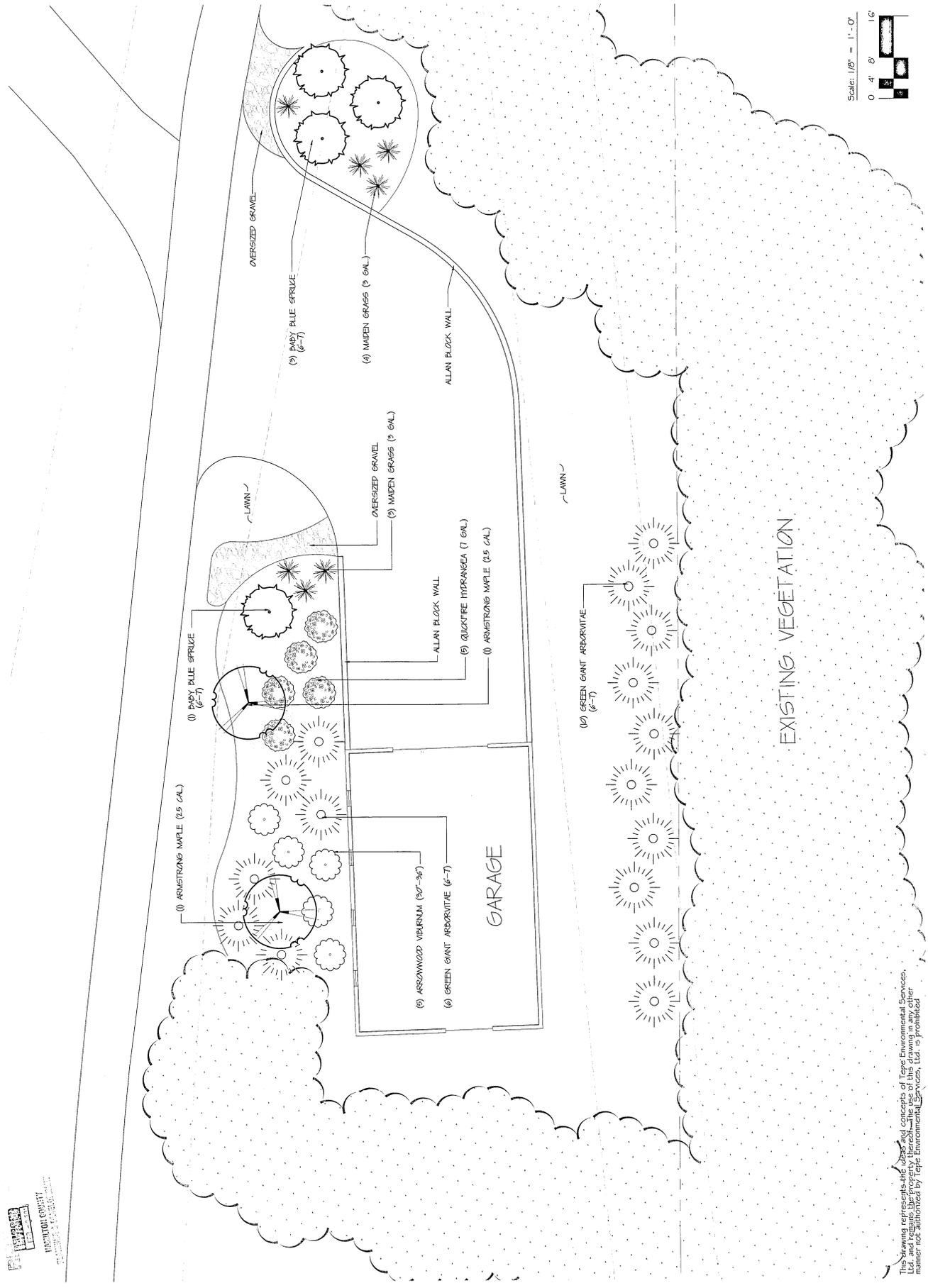


Client: CHUCK

HATFIELD RESIDENCE
LANDSCAPE IMPROVEMENT PROJECT
Tepe Environmental Services, Ltd.
7021 Clarks Way
Concord, ON L4B 3B8
(905) 941-4500 tepeenv.com

Issue Date: JANUARY 29, 2015
Revisions:

Sheet Title: LANDSCAPE PLAN
Designer: DAVID KUCHENBUCH
Project Number: 15024
Scale: 1/8" = 1'-0"
Sheet: L1
1 of 1



This drawing represents the work of Tepe Environmental Services, Ltd. and remains the property thereof. The use of this drawing in any other manner not authorized by Tepe Environmental Services, Ltd. is prohibited.



HAMILTON COUNTY

Regional Planning Commission

STAFF REPORT

FOR CONSIDERATION BY THE BOARD OF ZONING APPEALS ON FEBRUARY 11, 2015

**BZA CASE: COLUMBIA 2013-01 (CONDITIONAL USE MODIFICATION)
SEVEN HILLS EARLY CHILDHOOD CENTER**

REQUEST: CONDITIONAL USE approval to modify a previously approved conditional use plan for a school use located in an existing “B” and “C” Residence District

PURPOSE: To modify the approved site plan to allow for an 1,800 square foot addition to the previously approved building including modifications to the paved areas, paved paths, landscaped areas and play areas

APPLICANT: Richard S. Thomas, SHP Leading Design (applicant); The Seven Hills School (owner)

LOCATION: Columbia Township: On the southeast corner of Red Bank Road and Ellmarie Drive (Book 520, Page 215, Parcels 11)

SITE DESCRIPTION:
Tract Size: Approximately 10.79 acres
Frontage: Approximately 470 feet on Red Bank Road, 275 feet on Ellmarie Drive and 160 feet on Raywill Court
Topography: Relatively flat
Existing Dvlpmt: Early Childhood School under construction

SURROUNDING CONDITIONS:	<u>ZONE</u>	<u>LAND USE</u>
North:	“C” Residence	Single-family homes
South:	“B” Residence	Seven Hills School and parking lot
East:	“C” and “B” Residence	Single-family homes and athletic field
West:	“ML” Manufacturing (City of Cincinnati)	Manufacturing/Industrial uses

SUMMARY OF RECOMMENDATIONS **APPROVAL with Conditions and a Variance**

PROPOSED USE: The applicant is requesting to modify an approved Conditional Use Permit to add 1,800 square feet to the Early Childhood Learning Center which is currently under construction. The additions to the building are proposed along the front (southwestern) facade facing Red Bank Road and the southern façade. The total square footage of the single-story early childhood center would be 19,132 square feet. The approved one-way driveway providing access to the school from Red Bank Road and out to Ellmarie Drive would be shifted slightly to align with the new building entrance. The paths and pavement areas have also been redesigned. Changes are also proposed in the play areas including a new play area identified just west of the entrance drive off of Red Bank Road. The approved parking lot would not be changed. The old early childhood center building and pool along with 7 homes along Ellmarie Drive and Raywill Court have been razed. The existing red barn building along Red Bank Road would remain.

PREVIOUS BZA ACTION: In November of 2000, a Conditional Use for a 101-space parking lot that replaced a gravel parking lot was approved for the Seven Hills school campus. In February of 2001, a Conditional Use for a 14,700 square-foot temporary modular classroom building was approved on the site. The existing high school was rebuilt and the temporary building was removed.

In December of 2013, a Conditional Use for the Seven Hills Early Childhood Learning Center was approved including a 17,332 square foot building and a 34-space parking lot. A play area identified for 'structured and open play for beginnings' was approved in the approximate location of the old early childhood center. A second play area was approved and identified as 'structured and open play for pk-k' at the intersection of Ellmarie Drive and Raywill Court. Landscaping and fencing were approved around the perimeter of the site. The applicant has consolidated all of the land that is located within the Columbia Township portion of their property into one lot including the new early childhood center building and associated parking lot and play areas, red barn building, athletic field and track and a portion of another existing school building and parking lot. This parcel contains approximately 10.8 acres while the area being developed is approximately 3 acres. The site is currently under construction and this approved conditional use is currently being proposed to be modified. A large majority of the school campus would remain in the city of Cincinnati.

In February of 2014, a Conditional Use was approved to convert a grass athletic field into a synthetic surface athletic field for a site located east of the proposed development. The majority of the site improvements were proposed in the city of Cincinnati located to the south. Only a small portion of site improvements, approximately 6,800 square feet in size (approximately 15% of the total field area) along with one light pole, were located within Columbia Township.

ANALYSIS: Compliance With General Considerations For Conditional Uses

In accordance with Chapter 17 of the Zoning Resolution in order to approve a Conditional Use, the Board of Zoning Appeals shall make a finding that the proposed use is appropriate in the location where it is proposed. That finding must be based on the following considerations as contained in Section 17-6 as well as the specific criteria identified in Section 17-7.

- **Spirit and Intent:** The proposed use and development shall comply with the spirit and intention of the Zoning Resolution and with district purposes. ***Findings:*** Staff finds that the already approved school use is permitted in the “B” and “C” Residence Districts as a conditional use and that the proposed expansion would comply with the spirit and intention of the Zoning Resolution. In the previous approval, the applicant was granted a variance to the front yard setback for the existing red barn building. The proposed building expansion would not require any additional variances.
- **No Adverse Effect:** The proposed use and development shall not have an adverse effect upon adjacent property or the public health, safety, morals and general welfare. ***Findings:*** With the previously approved screening including fencing, landscaping and mounding, the proposed development was not found to adversely impact the surrounding properties. The most directly impacted privately owned home by the proposed new changes is located at 5525 Raywill Court at the end of the cul-de-sac. This home is adjacent to the area identified for the new school building and although the proposed building expansion does not encroach closer to this residence or with any other homes in the area, it is adjacent to the play areas identified for ‘water play’, ‘jens jension ring’ and ‘work terrace’. However, the previous approval permitted a ‘four seat swing’ in this same area. Staff finds that with the proposed buffering as identified on the plan, this change in the play area design will not adversely affect the residence at 5525 Raywill Court. Staff finds that this existing home is already located within close proximity to an athletic field and track and that the redesigned play areas should not add significantly to the noise impact. Further, the potentially unsightly transformer previously approved for this area has been moved to Ellmarie Drive as required by Duke Energy and the scoreboard has been moved to the northeast corner of the existing athletic field.

A new ‘Beginnings Play Area’ has been identified in front of the building in between Red Bank Road and the Early Childhood Center in an area that previously was not identified as a play area. However, staff finds that this new area will not adversely affect the surroundings as the area is heavily landscaped and a parking lot and wooded area exist across Red Bank Road.

- **Protection of Public Interests:** The proposed use and development should respect, to the greatest extent practicable, the natural, scenic and historic features of significant public interest. ***Findings:*** There are no known features of significant public interest.
- **Consistent with Adopted Plans:** The proposed use and development shall, as applicable, be consistent with objectives, policies and plans related to land use adopted by the Board of County Commissioners. ***Findings:*** Columbia Township has an adopted Land Use Plan for this area. The designation for the southern portion of the property is listed as ‘Educational’ and the proposed development changes would be consistent with the adopted Columbia Township Land Use Plan. The northern portion of the site is identified as ‘Single-Family’. Schools are permissible in single-family areas and therefore, the changes are not in conflict with the adopted Land Use Plan in this area.

Compliance With Specific Conditional Use Criteria As Per Section 17-7

Schools (and related uses) in Residential districts must comply with the following specific criteria:

17-7-(1): Measures shall be taken to minimize the impact of potential nuisances such as noise, odor, vibration, and dust on adjacent properties.

Findings: With the proposed screening as identified on the plan, the additional noise, odor, vibration or dust from the proposed changes would be minimal. Staff recognizes that noise is likely already generated from the existing school, athletic fields and pool located within 50 feet of adjacent residences.

17-7-(o) (1): Landscaping shall be installed in accordance with one of the following buffers as described in detail in chapter 14:

- 1). Boundary Buffer A (shown in Fig. 14 A)
- 3). Streetscape Buffer (shown in Fig. 14 C).

Findings: The previous approval identified more landscaping within the required Boundary Buffer along with a six foot high vinyl privacy fence with shrubs located between the fence and the existing house. This boundary buffer and fence would separate the proposed site from the nearest house located 5525 Raywill Court. The previous approval also included planting trees and shrubs along Red Bank Road along with preserving three existing mature trees. In general, all landscaping appears to be more than what is required in the Zoning Resolution and no additional streetscape or boundary buffer screening would be necessary in these areas.

17-7-(p) (3): One sign permitted at a maximum of 32 square feet.

Findings: The applicant has not proposed any new signage.

17-7-(s): All exterior lighting shall be directed away from adjacent residential properties.

Findings: In the previous approval, the applicant was required to submit a lighting plan that confirms to the Zoning Resolution. Since a lighting plan has not been submitted, staff finds that this condition should remain.

CONCLUSION:

The above findings indicate that the proposed changes to the approved development meet the requirements of Section 17-6, General Considerations for Conditional Uses and Section 17-7, Specific Criteria Pertaining to Conditional Uses, with the condition listed below. The proposed school building expansion with modifications to the paved areas, paved paths, landscaped areas and play areas as identified on the submitted plans would not likely have a negative impact on any adjacent residents. The development does not have any other deviations from the approved plan and with the previous conditions of approval (BZA decision on December 11, 2013), staff finds that the proposed changes comply with the intentions of the Conditional Use review.

RECOMMENDATION: Staff of the Regional Planning Commission recommends approval of BZA case Columbia 2013-01; Seven Hills Early Childhood Center, a request for a modification to the Conditional Use approval subject to the following condition and variance:

Conditions:

1. That a lighting plan in compliance with the requirements of the Zoning Resolution shall be submitted as part of the Zoning Compliance Plan.
2. That the fencing on the northern play area shall be no closer than 30 feet from the right-of-way of Ellmarie Drive with the proposed landscaping located between the fence and the right-of-way of both Ellmarie and Raywill Court, that a 3-foot high mound shall be provided between the fencing and the right-of-way of Ellmarie Drive, and that the fencing surrounding all play areas on the property shall be a maximum of 4 feet in height and shall have a minimum open face area of 75 percent.
3. That a sidewalk shall be constructed along Red Bank Road that connects the existing sidewalk along Ellmarie Drive and the existing sidewalk along Red Bank Road in front of the existing Seven Hills School Campus.
4. That, unless further restricted by the County Engineer, the proposed curb cut located along Red Bank Road shall be identified as an 'entrance only' and the proposed curb cut located along Ellmarie Drive shall be identified as 'exit only'.
5. That landscaping shall be installed in the area of the improvements as shown on the submitted landscape plan and in accordance with Section 15 of the Zoning Resolution and Condition #6 listed below.
6. That all proposed landscaping shrubs shall be planted between the fencing and the adjacent single-family houses.

Variance:

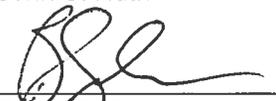
1. That the existing barn building be located no closer than 20 feet from the Red Bank Road right-of-way line where 30 feet is required.

NOTE: Recommendations and findings in this staff report reflect the opinions of the staff of the Hamilton County Planning and Zoning Department, but may not necessarily reflect the recommendation of any Commission. This staff report is primarily a technical report on the level of compliance with adopted land use regulations and plans. The report is prepared in advance of public hearings and often in advance of other agency reviews. Additional information from other agency reviews and public review is considered by appointed commissions and elected boards. Therefore, the advisory and final decisions of such commissions and boards may result in findings and conclusions that differ from the staff report.

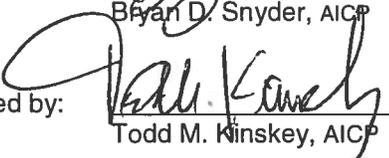
Prepared by:


_____, Senior Planner, Development Services
John S. Huth

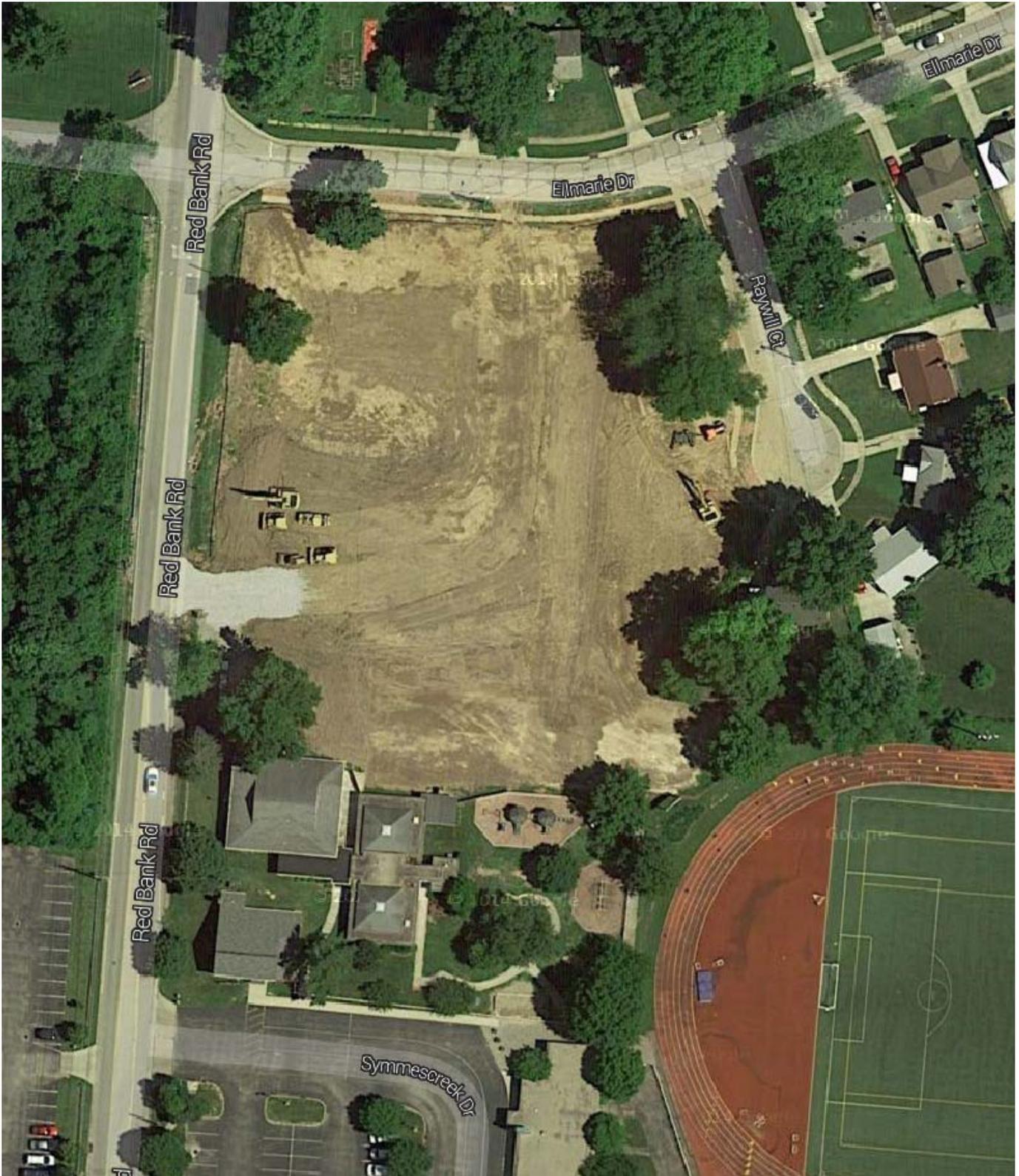
Reviewed by:


_____, Development Services Administrator
Bryan D. Snyder, AICP

Approved by:


_____, Planning Director
Todd M. Kinskey, AICP

UPDATED AERIAL PHOTOGRAPHY (Google Maps)



SITE PHOTOS



View of the site looking south from Ellmarie Drive



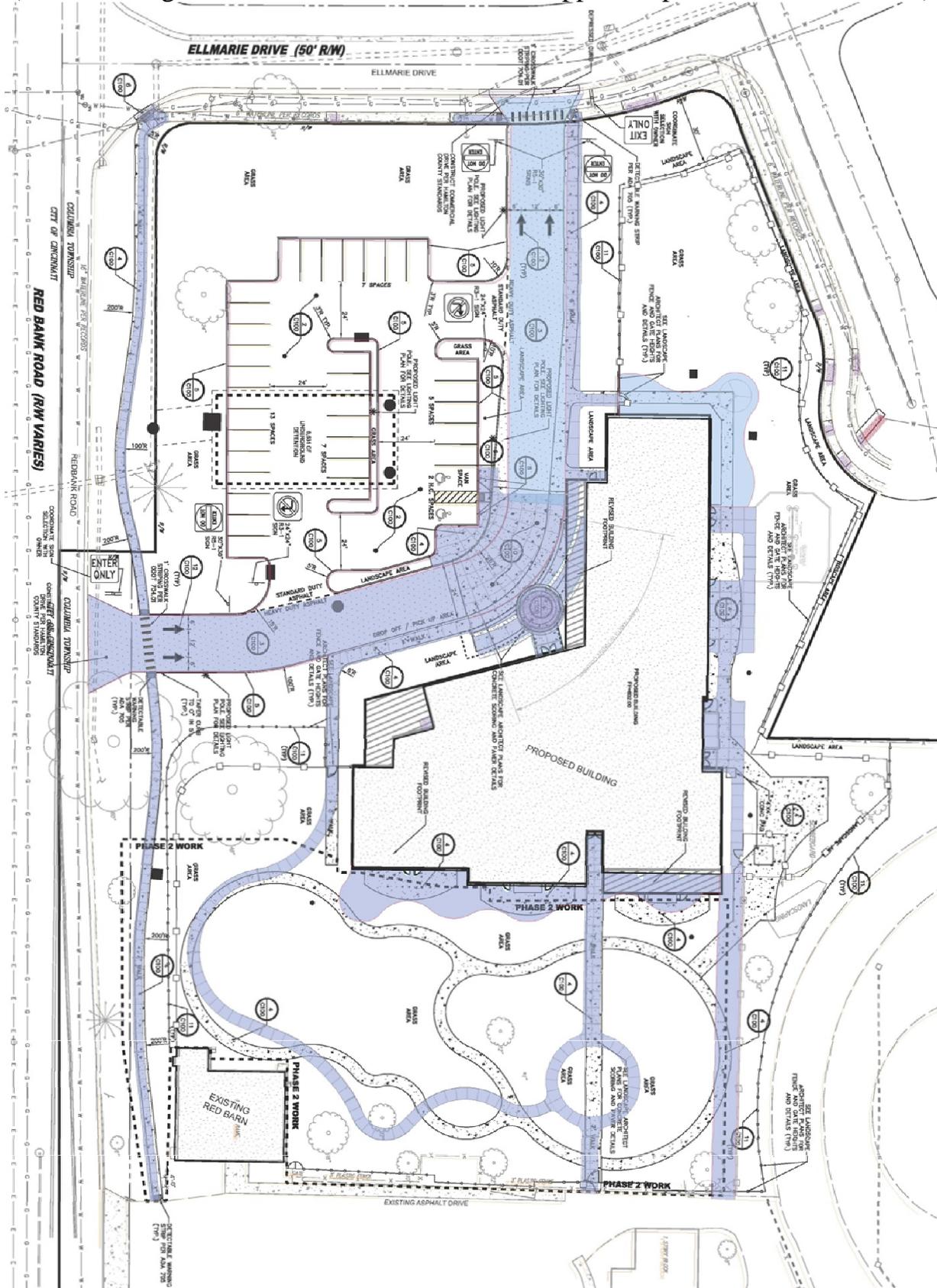
View of the homes at the Raywill Court cul-de-sac looking southwest



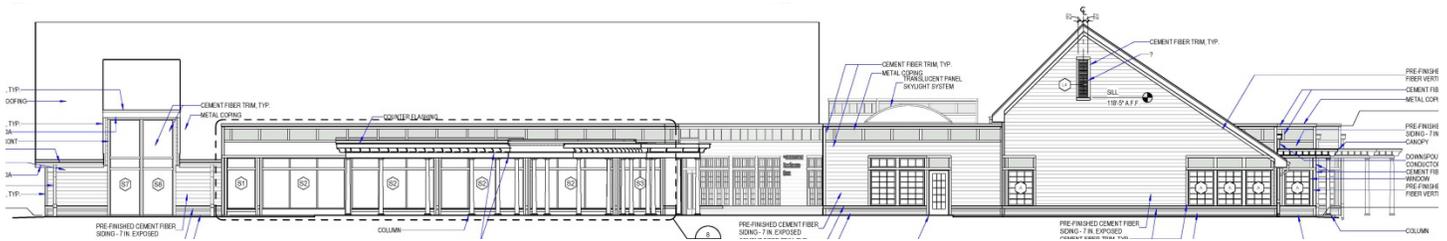
View from existing Seven Hills School looking north (existing red barn to remain)

PROPOSED SITE PLAN

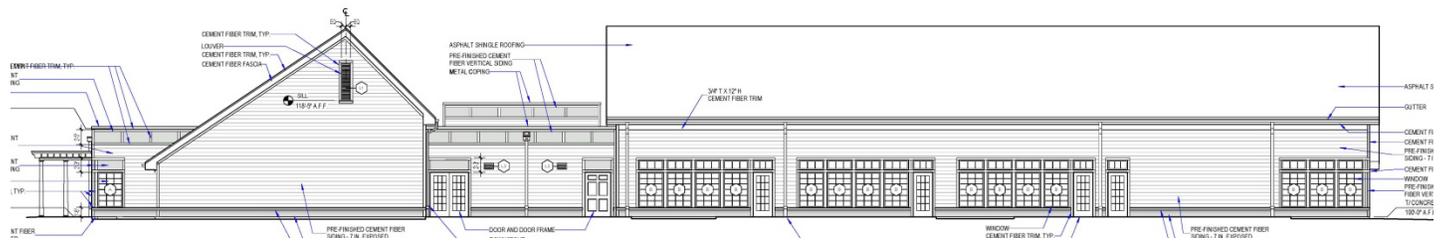
(New building additions in cross hatch and old/approved pavement areas in blue)



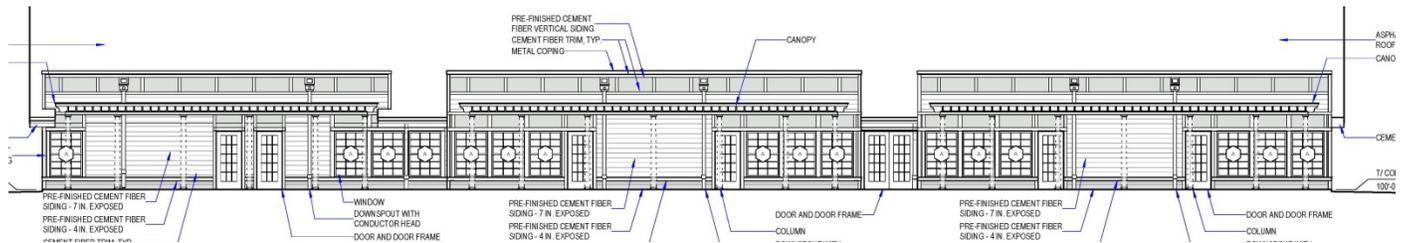
ELEVATIONS



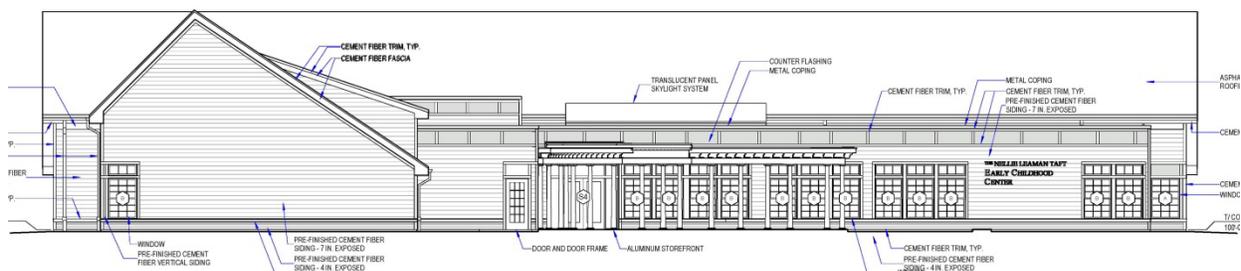
West Elevation (Facing Red bank Road)



East Elevation



South Elevation



North Elevation

APPLICANT'S LETTER

THE
SEVEN
HILLS
SCHOOL

Mr. Bryan D. Snyder, AICP
Development Services Administrator
Hamilton County Department of Planning and Development
138 E. Court Street, Suite 801
Cincinnati, Ohio 45202-1237

Dear Mr. Snyder:

The enrollment policies and pedagogical practices for the new Seven Hills Early Childhood Center limit the total enrollment number of students per grade level to the following:

The breakdown is as follows:

- (3) Kindergarten rooms at 14 students per room for a total 42 students
- (4) Pre-School Rooms with 12 students per room for a total 48 students
- (1) Two-year old Room with 12 students per room for a total of 12 students
- (1) Beginnings Room with 10 students per room for total of 10 students

Total enrollment policy is 112 Students

(19) parking have been provided (+1:6 ratio)
Parking has been provided for 10 faculty, 3 guests and two ADAAG and spaces

Student count - 19 cars
Faculty count 10 cars
Guest count - 3 cars
ADAAG count - 2 cars

Total parking provided is for 34 cars as originally noted, submitted and approved.

Sincerely



Robert W. Horne
Director of Operations
The Seven Hills School

Hillsdale campus
5400 Red Bank Road
Cincinnati, Ohio 45227

513.728.2400
www.7hills.org
Doherty campus
2726 Johnstone Place
Cincinnati, Ohio 45206

Intellectually vibrant, individually attuned, future-ready learning for students grades pre-K through 12.



APPLICATION FORM

Submit Completed Application To: The Hamilton County Board of Zoning Appeals, County Administration Building, 138 E. Court Street, Room 801, Cincinnati, OH 45202 Phone: (513) 946-4550

Prepare a Letter referring to instructions in the "User's Guide" and Including:

- a. The principal points set forth in this case shall be the same as those under which the administrative officer acted, whether the granting or refusal of a zoning certificate or any other decision based upon the regulation of the Zoning Resolution.
b. A clear and accurate description of the proposed use
c. Specific reference to the Chapter and Section(s) of the Zoning Resolution which, it is claimed, authorize the determination sought

NAMES AND ADDRESSES

Applicant: SHP Leading Design RICHARD S. THOMAS
Owner: The Seven Hills School
Address: 4805 Montgomery Rd. Cincinnati, Ohio 45212
Address: 5400 Red Bank Rd Cincinnati, Ohio 45227
Email Address: rthomas@sdp.com
Email Address: robert.korne@Thills.org

The undersigned Richard S. Thomas hereby appeals under Chapter 21 & 22 and Section(s) of the Zoning Resolution to permit the construction of an 1800 sq ft ADDITION TO A PREVIOUSLY APPROVED CONDITIONAL USE FOR SEVEN HILLS SCHOOL in accordance with the plats, plans and other data hereto attached and made a part of this case.

Table with 5 columns: ZONE DISTRICT, AUDITOR'S BOOK NO., AUDITOR'S PAGE NO., AUDITOR'S PARCEL NO., LOT NO.
Handwritten entries: 520, 0215, 0011, RES, B+L, SEE ATTACHED CONSOLIDATION PLAT

Project Location: 5400 Red Bank Road GINT. OH 45227

I hereby depose and say that all the above information and that statements contained in all of the exhibits transmitted herewith are true.

DEC 17 2014

HAMILTON COUNTY PLANNING & DEVELOPMENT

Applicant Signature (Handwritten)

Sworn to and subscribed before me, this 17th day of December 2014

MARY KING Notary Public, State of Ohio My Commission Expires 01-31-2017

Notary Public (Handwritten Signature)

APPLICATION FORM (continued)

APPLICATION NUMBER
CUCT 2013-01

Address of Subject Property 5400 Red Bank Road Township Columbia

	NAME	ADDRESS	CITY	STATE	ZIP CODE	PHONE NO.
OWNER						
CONTRACTOR		<u>SEE CONSOLIDATION</u>	<u>PKAT</u>			
PLANS BY						
APPLICANT						

TYPE OF IMPROVEMENT: (Describe briefly proposed work)
Replacement Additions to New Early Childhood Center (School)
for the Seven Hills School (project currently under construction)

PROPERTY OWNERSHIP

BZA ACTION REQUESTED

- Private
- Public (Federal, State, Local)
- Corporate
- Other

- Appeal
- Variance
- Conditional Use
- Compatible Non Conforming Use
- Non Conforming Use
- Other

RECEIVED

DEC 17 2014

HAMILTON COUNTY
 PLANNING & DEVELOPMENT

State in detail all existing and proposed uses of this building or premises:

Existing Use Early Childhood Center

Proposed Use Early Childhood Center

- Commercial
- Residential

Estimated cost of improvement for which this application is being made:

\$ 450,000

The owner(s) of this building and undersigned, do hereby covenant and agree to comply with all of the laws of the State of Ohio and the Zoning Resolution of the County of Hamilton, pertaining to building and constructing the proposed building or structure or making the proposed change or alteration in accordance with the plans and specifications submitted herewith, and certify that the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct.

Application By: [Signature] Address _____
 DO NOT WRITE BELOW THIS LINE

Adopted: 592 + 60 = 652⁰⁰ Journalized: _____
 BZA Filing Fee: 652⁰⁰ Cash _____ Check # Credit Card



RECEIVED

DEC 17 2014

HAMILTON COUNTY
PLANNING & DEVELOPMENT

December 17, 2014

Mr. Bryan Snyder
Development Services Administrator
Hamilton County Planning & Zoning
138 East Court Street, Room 801
Cincinnati, Ohio 45202

RE: The Seven Hills School – Conditional Use Request for the additions to the New Early Childhood Center at The Seven Hills School (currently under construction)

Dear Mr. Snyder:

On behalf of The Seven Hills School, SHP Leading Design , (Applicant) is pleased to present this letter of Intent to secure Conditional Use approval from the Board of Zoning Appeals to incorporate interior adjustments and minor additions to the new Early Childhood Education Center for the Seven Hills School (Owner), located at 5400 Red Bank Road, Cincinnati, Ohio 45227. The project is currently under construction, The property location is in Columbia Township and generally rests in the southeast corner of the intersection of Red Bank Road and El Marie Drive.

The attached documents illustrate in detail the property and its location, existing characteristics, as well as the proposed improvements.

The project is currently under construction. These adjustments are wholly consistent with previous Conditional Use approval and incorporate all previous comments from the BZA.

Please let me know if you have any questions or concerns.

Sincerely

SHP Leading Design

Richard S. Thomas AIA, NCARB, LEED AP
Vice President

Cc: Attachments
File

www.slp.com

CINCINNATI

4805 Montgomery Road Suite 400
Cincinnati, Ohio 45212
513.381.2112 main
513.381.5121 fax

HAMILTON

236 High Street
Hamilton, Ohio 45011
513.863.5441 main
513.863.5596 fax

COLUMBUS

250 Civic Center Drive Suite 200
Columbus, Ohio 43215
614.223.2124 main
614.223.2130 fax

DENVER

1675 Broadway Suite 1300
Denver, Colorado 80202
303.209.7866 main
303.209.7865 fax



December 17, 2014

Mr., Bryan Snyder
Hamilton County Board of Zoning Appeals
County Administration Building
138 E. Court Streets, Room 801
Cincinnati, Ohio 45202

Re: Conditional Use Application – Minor additions to The Seven Hills School Early Childhood Center

Dear Board of Zoning Appeals:

The Seven Hills School requests Conditional Use Approval for minor additions the New Early Childhood Center currently under construction and approved for said construction early in 2014.

Location:

The 10.786 acre consolidated property located in general terms, north of the line separating Columbia Township from The city of Cincinnati (hereby establishing the southern boundary of the proposed development per the consolidation plat), and bounded on the west by Red Bank Road, on the north by Ellmarie Drive and on the East by Raywill Court and the Red Bank Expressway on the East (see Consolidation Plat (Sheet 1 Of 1) included in the drawing packet submission attached to this letter. Reference Sheet C130 for the detailed site survey of the actual Early Childhood Center site.

Description of Use:

The proposed use for the above reference property is a new Early Childhood Education Center. This new center will replace the existing Early Childhood Center on the existing Hillsdale Campus of The Seven Hills School; address, 5400 Red Bank Road. The New Early Childhood Center includes the following:

- (3) Kindergarten Classrooms
 - (4) Preschool Classrooms
 - (1) Two-year old Classroom
 - (1) Beginnings Classroom
 - (1) Commons Space
 - (1) Muscle Room
 - (2) Administrative Offices, (1) Conference Room, (1) Work Room
- Support facilities including, Storage, Mechanical room, Rest Rooms

The proposed additions allow for an increase in interior classroom area and correct an initial programming error. Enrollment policies limiting the number of participants in the new curriculum remain the same. There is a parking area for 34 cars. Entry is off Red Bank Road via a curb cut centered between Ellmarie Drive and the existing curb cut at the main parking area for The Seven Hill School. Exiting is left onto Ellmarie Drive and then right or left

www.shp.com

CINCINNATI

4805 Montgomery Road Suite 400
Cincinnati, Ohio 45212
513.381.2112 main
513.381.5121 fax

HAMILTON

82 Williams Avenue
Hamilton, Ohio 45015
513.863.5441 main
513.863.5596 fax

COLUMBUS

250 Civic Center Drive Suite 200
Columbus, Ohio 43215
614.223.2124 main
614.223.2130 fax

Steed Hammond Paul Inc.

onto Red Bank Road. **The proposed minor additions do not impact the original planning and circulation intent in any way.**

Conditional Use Compatibility

The development of the Early Childhood Center is in general terms consistent with neighborhood scale development. This Early Childhood Center is a replacement and upgrade of use that has existed in close proximity to this area for in excess of 25 years. There is no proposed change in use from that which has been for the last 25 years. The new center bridges the existing campus site, as well as the nine acquired properties that extend north into the existing residential neighborhood. **The additions modify the footprint in three areas. In one area the adjustment is about 800 SF, in another area about 700 SF, and in a third area about 260 SF. The proposed minor additions support and enhance the original submission.**

Neighborhood Compatibility:

The Seven Hills School has been supportive neighbor of the Ellmarie neighborhood to the north years. It owns lots, 44, 43, 46 and 47 across Raywill Court. It has favorable relations with the property owners of Lots 45 and 48. A significant portion of the remaining 50 plus sites to the East and north are also under ownership of the school. **The proposed minor additions support and enhance the original submission.**

Extent of Additional Protection:

Ample Green Space / Landscaping:

The larger footprint for the new facility allows the Seven Hills School more opportunity to create green space around the facility, to design a facility that anchors the northern end of the campus with architecture consistent with a significant commitment to campus improvements made over past decade. The additional green space will, in effect, provide a park like setting at this location.

Where ever possible, we will preserve existing mature vegetation as noted in the attached landscape plan. Low scale fencing will be provided consistent with scale of the neighborhood, zoning regulation and security needs of the school. Additionally landscaping buffers in conjunction with fencing will facilitate a handsome green edge to the site further defining boundary , edge and buffer in a way the mitigate noise transfer as well as enhances the overall aesthetic of the property.

In the February submission, the landscape vision was still in development. That vision has been completed and is included for review. The attached landscape plans illustrate the total proposed site development plan for play and landscape. This plans incorporate previously agreed to adjustments by BZA in February of this year. Those comments pertain to the north east corner of the site along EIMarie Drive and Raywil Court. The conditions of approval in February of 2014 have been incorporated into the approved plans and remain so in this proposal.

Independent Parking and simplifies ingress and egress:

The parking ingress and egress patterns have been reviewed and are judged to have no significant impact on the neighborhood circulation patterns. In fact the addition of parking to the area is judged to actually lessen the pressure on existing traffic patterns in the area by lessening congestion along eth current Red Bank extension. **The proposed minor additions do not impact the original planning and circulation intent in any way.**

Architectural Screening:

Roof top mechanical units are screened from views from the East by a mechanical screen and by views from the west by a skylight roof form. The screen will also address unit transfer by blocking transfer to the East. **The proposed minor additions do not impact this aspect of the design.**

Construction Sequencing:

The existing Early Childhood facility will remain in operation while the new facility is constructed. This allows current activities to remain, eliminating the need for temporary facilities, ingress and egress patterns while construction is underway. This lessens the impact of the execution of the project on existing traffic patterns in the area. **The proposed minor additions do not impact this aspect of the design.**

Architectural Compatibility with neighborhood scale and The Hillsdale Campus:

The single story structure does not overwhelm the neighborhood scale. The new Early Childhood Center is a 17,332 GSF single story wood frame structure clad in lap shingle siding, trimmed with white architectural trim. The salt box roof forms shall have premium asphalt shingles matching as closely as possible the adjacent structures that dominate the Hillsdale Campus. **The proposed minor additions support and enhance the original submission.**

The façade facing Red Bank Road is punctuated by a low flat roof glazed flat roof mass clad in white trim and enclosed with white architectural windows. The gently curved wood frame entry Porte Cochere is supported by white wood architectural columns white wood trim and a flat roof. This Porte Cochere is designed to partner directly with a similar structure that forms the entry to the Upper School directly to the south of the Early Childhood Center. This design element is deliberately repeated in various forms throughout the Hillsdale Campus, providing a common language of entry and style across the campus. **The proposed minor additions support and enhance the original submission.**

Site Lighting:

Parking lighting has been designed for cut-off at the property line (see attached photometric plan), so as to mitigate any light spillage to adjoining properties. Accent lighting has been kept to a minimum and is located largely along the West Façade facing Red Bank. Façade up-lighting along the entry area will gently wash the entry façade. Canopy down lights will light the pathway as one approaches from the parking area. Small low intensity wall pack along the East and South facades will add additional close in security. The site will have security cameras installed on three sides where entry is defined as well as atop parking lot lighting standards. **The proposed minor additions do not impact this aspect of the design.**

On behalf of The Seven Hills School, thank you for the opportunity to submit this application. Please let me know if any additional information is needed.

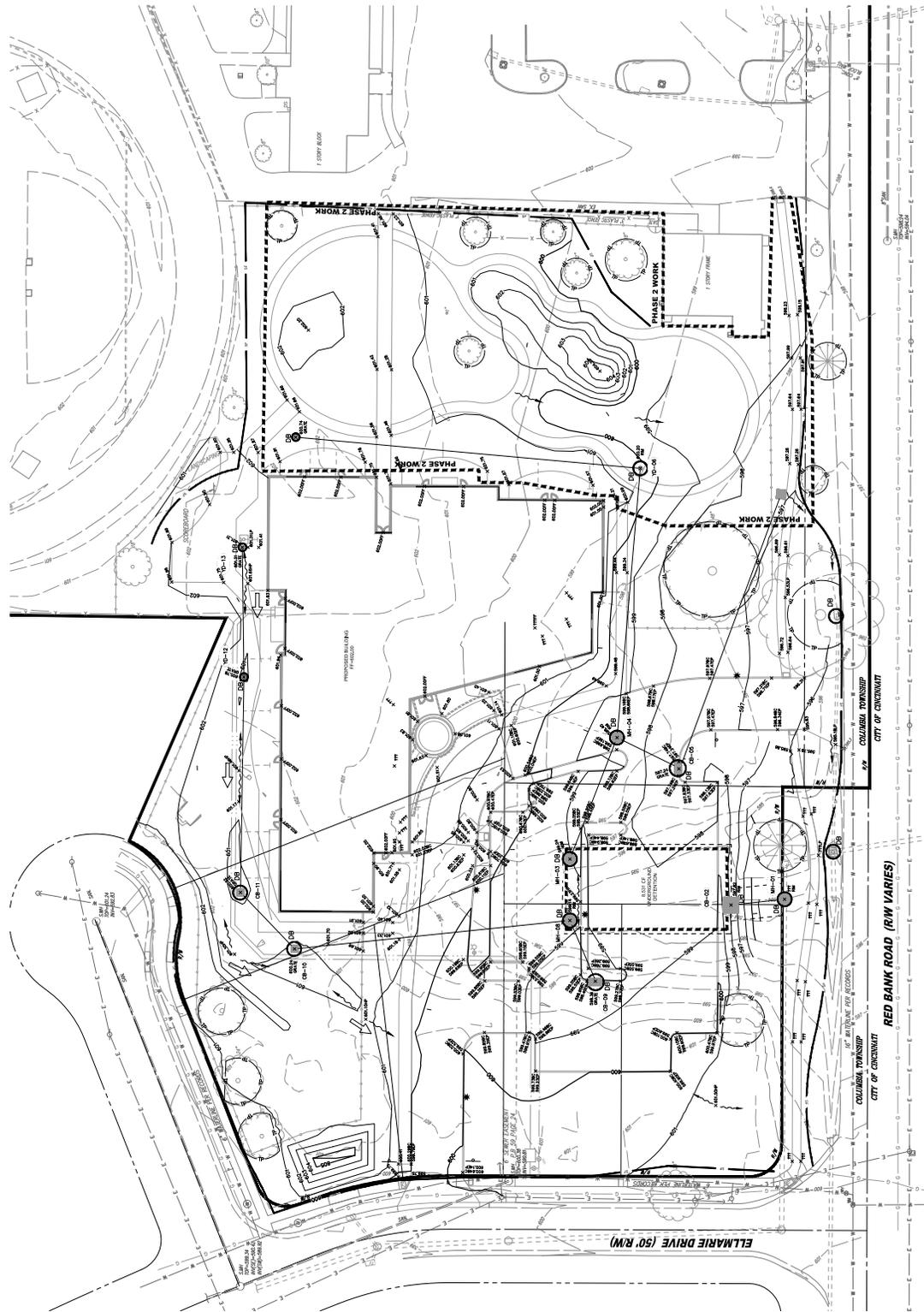
Sincerely,

SHP Leading Design



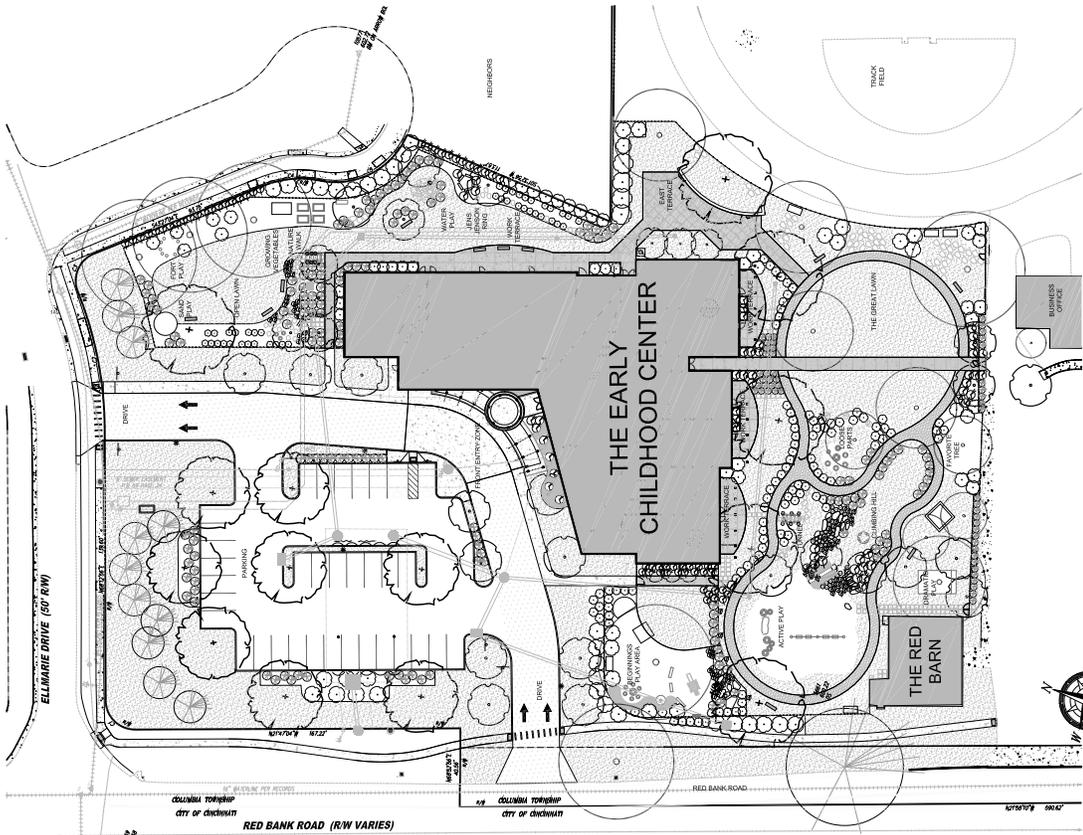
Richard S. Thomas AIA, NCARB, LEED AP
Vice President

Attachments



- GRADING AND EROSION CONTROL LEGEND**
- SPOT ELEVATION
 - HIGHEST TOP ELEVATION
 - LOWEST BOTTOM ELEVATION
 - DRAINAGE BASIN INLET PROTECTION
 - SILT FENCE
 - FLOW ARROW
 - TREE PROTECTION
 - OVERLAND FLOOD ROUTE
 - FINISH EDGE OF PAVEMENT ELEVATION

THE EARLY CHILDHOOD CENTER NATURE PLAYSCAPE



GENERAL NOTES

1. BASE INFORMATION PROVIDED BY THE SEVEN HILLS SCHOOL. BUSINESS OFFICE: 5400 RED BANK ROAD, CINCINNATI, OHIO 45227. PH: 513-728-2400
2. CONTRACTOR SHALL LOCATE ALL UTILITIES, STRUCTURES, PAVEMENT AND VEGETATION TO REMAIN, AND TAKE THE NECESSARY PRECAUTIONS FOR THEIR PROTECTION DURING CONSTRUCTION. ANY FIELD ADJUSTMENTS REQUIRED SHALL BE REVIEWED BY THE ARCHITECT OF RECORD PRIOR TO IMPLEMENTATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS DURING THE COURSE OF THIS PROJECT INCLUDING BUT NOT LIMITED TO OSHA REQUIREMENTS FOR PUBLIC AND WORKER SAFETY.
4. CONTRACTOR SHALL COORDINATE WITH THE WORK OF OTHER TRADES TO INSURE PROPER AND TIMELY EXECUTION OF THE WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SLEEVES UNDER PAVEMENT FOR IRRIGATION, FOUNTAINS AND OTHER NECESSARY UTILITIES.
6. ALL MATERIALS TO BE PROVIDED AS SPECIFIED OR APPROVED EQUAL.
7. CONTRACTOR TO LEAVE THE SITE IN A CLEAN AND ORDERLY FASHION AFTER EACH DAY OF WORK. ALL GARBAGE SHALL BE REMOVED. ALL ADJACENT WALKWAYS AND DRIVES SHALL BE CLEAN OF DEBRIS AND SOIL/MUD AT THE END OF THE WORK DAY.
8. CONTRACTOR TO REPORT ANY CONFLICTS TO ARCHITECT OF RECORD IMMEDIATELY.
9. CONTRACTOR TO EXAMINE FINISH SURFACE, GRADE ACCURACY AND TOPSOIL FOR DEPTH AND QUALITY. IF CONDITIONS ARE UNSATISFACTORY, NOTIFY ARCHITECT OF RECORD AND OWNER AND DO NOT BEGIN WORK UNTIL CONDITIONS HAVE BEEN CORRECTED.
10. CONTRACTOR TO COORDINATE CONSTRUCTION STAGING AND MATERIAL STOCKPILING WITH OWNER.
11. DURING ALL PHASES OF CONSTRUCTION ACTIVITY, IF CONTRACTOR ENCOUNTERS ANY "SOLID WASTE MATERIAL" (EXCLUDING CLEAN HAZARD FILL) THE OWNER SHALL BE CONTACTED IMMEDIATELY FOR FURTHER DIRECTION.
12. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ANY TREES AND/OR VEGETATION TO REMAIN FROM DAMAGE. ANY TREES AND/OR PLANTS TO REMAIN SHALL HAVE A BARRIER ERECTED AT DRIP LINE.

NATURE PLAY NOTES

1. OPENINGS BETWEEN OBJECTS SHALL BE LESS THAN 3.5" AND GREATER THAN 9" TO AVOID ENTRAPMENT.
2. REMOVE SHARP OBJECTS, EDGES OR MATERIALS THAT MAY INFLICT HARM.
3. ALL FASTENERS AND HARDWARE TO BE FLUSH OR RECESSED.
4. ALL FASTENERS AND HARDWARE TO BE STAINLESS STEEL FOR ALL DETAILS IN THE CONSTRUCTION DOCUMENTS.
5. ALL PLAY EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
6. ALL EXISTING TREES TO BE MAINTAINED PER MADISON TREE SERVICE RECOMMENDATIONS.
7. CONTACT INFORMATION:
ILLUSION FENCE - COORDINATE WITH GENERAL CONTRACTOR
4' FENCE - #1500A-4, POST 5'-5", POST CAP: NEW ENGLAND, COLOR (C101)
6' FENCE - #300-6, POST 5'-6", POST CAP: NEW ENGLAND, COLOR (C101)
VIEWING TERRACE SEAT WALL BY OTHERS: KENNY SWANSON, 513-865-9221
MURDOCK - KEVIN DEVLIN, STREAMKEY, OFFICE: 513-792-1221
PLAY EQUIPMENT - JOHN LESTER, LESTER RECREATION DESIGNS, LLC, CELL: 317-502-3455, OFFICE: 317-888-2071
MADISON TREE SERVICE - JACK BUTCHER, CELL: 513-616-6086

SHEET L2.1
SHEET L2.0

COVER SHEET



THE SEVEN HILLS SCHOOL
EARLY CHILDHOOD CENTER
THE NATURE PLAYSCAPE
5400 RED BANK ROAD
CINCINNATI, OHIO 45227
513 728 2400

File Name and Notes

RACHEL ROBINSON DESIGN
LANDSCAPE ARCHITECTURE
1023 CELESTIAL STREET
CINCINNATI, OHIO 45202
PH: 513-621-5210
FAX: 513-621-5210

File Name and Notes



No.	Revision/Issue	Date
01	50% CDS	10/15/14
02	90% CDS	10/19/14
03	100% CDS	12/15/14
04	ZONING COMPLIANCE/ BIDDING	2/12/15

Project	141645
Date	02-12-15
Scale	NTS
Notes	L0.0



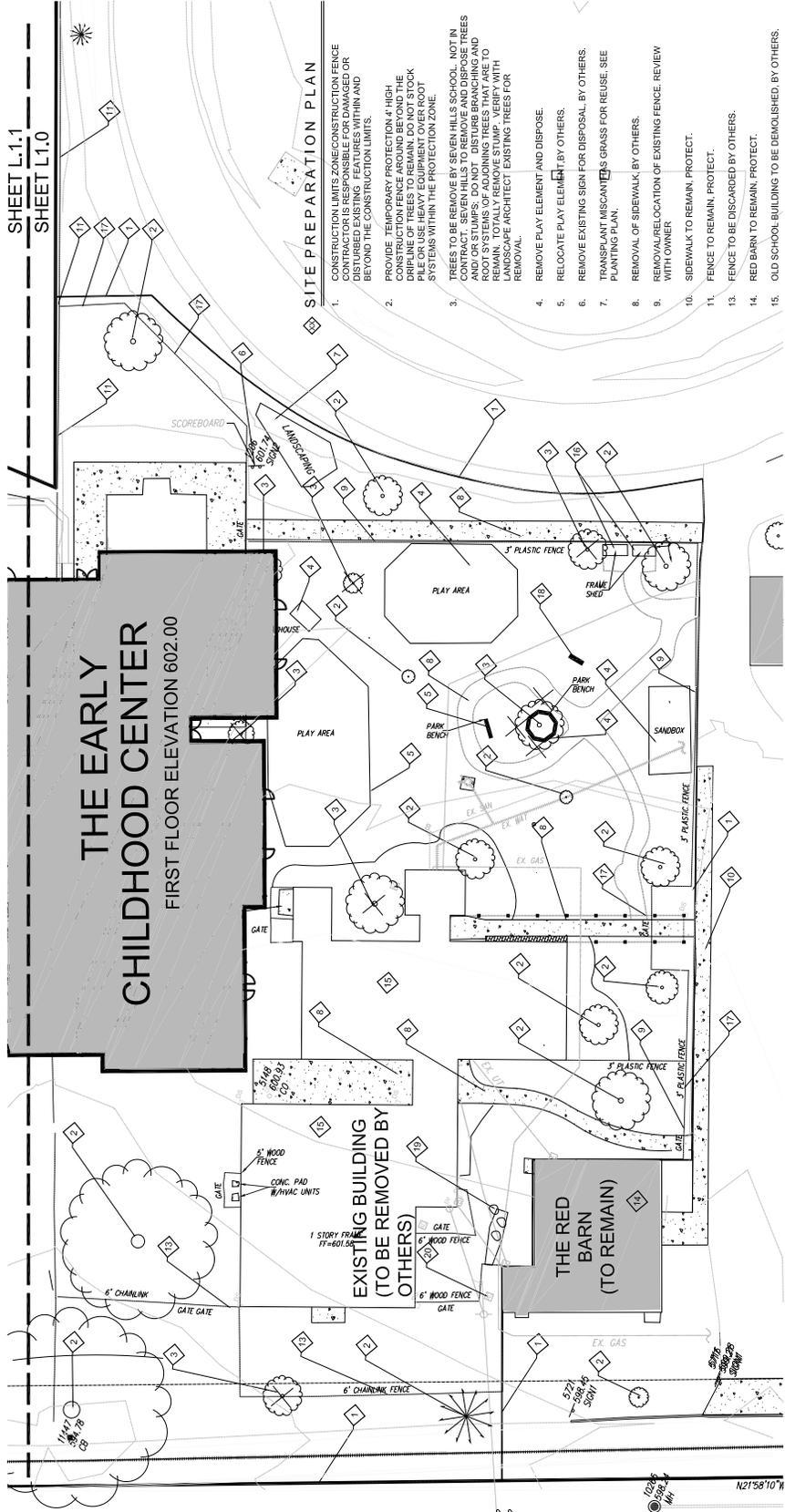
THE SEVEN HILLS SCHOOL
EARLY CHILDHOOD CENTER
THE NATURE PLAYSCAPE
5400 RED BANK ROAD
CINCINNATI, OHIO 45227
513 728 2400

File Name and Address
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No.	Revision/Issue	Date
01	50% CD'S	10/15/14
02	90% CD'S	11/19/14
03	100% CD'S	12/15/14
04	ZONING COMPLIANCE/ BIDDING	2/12/15

Project	141645
Date	02-12-15
Scale	L1.0
Notes	SEE GRAPHIC SCALE



SITE PREPARATION PLAN

- CONSTRUCTION LIMITS ZONE CONSTRUCTION FENCE TO BE INSTALLED AND OR DISTURBED EXISTING FEATURES WITHIN AND BEYOND THE CONSTRUCTION LIMITS.
- PROVIDE TEMPORARY PROTECTION HIGH CONSTRUCTION FENCE AROUND BEYOND THE DRILLING OF TREES TO REMAIN. DO NOT STOCK PILE OR USE HEAVY EQUIPMENT OVER ROOT SYSTEMS WITHIN THE PROTECTION ZONE.
- TREES TO BE REMOVED BY SEVEN HILLS SCHOOL. NOT IN CONTRACT. SEVEN HILLS TO REMOVE AND DISPOSE TREES TO BE REMOVED BY SEVEN HILLS. TO BE REMOVED AND DISPOSED. VERIFY WITH LANDSCAPE ARCHITECT EXISTING TREES FOR REMOVAL.
- REMOVE PLAY ELEMENT AND DISPOSE.
- RELOCATE PLAY ELEMENT BY OTHERS.
- REMOVE EXISTING SIGN FOR DISPOSAL BY OTHERS.
- TRANSPLANT MISCANUS GRASS FOR REUSE. SEE PLANTING PLAN.
- REMOVAL OF SIDEWALK, BY OTHERS.
- REMOVAL/RELOCATION OF EXISTING FENCE. REVIEW WITH OWNER.
- SIDEWALK TO REMAIN. PROTECT.
- FENCE TO REMAIN. PROTECT.
- FENCE TO BE DISCARDED BY OTHERS.
- RED BARN TO REMAIN. PROTECT.
- OLD SCHOOL BUILDING TO BE DEMOLISHED BY OTHERS.
- RELOCATE SHED. REVIEW WITH LANDSCAPE ARCHITECT.
- FENCE TO BE DISCARDED.
- SEAT SWINGS TO BE RELOCATED BY OTHERS.
- EXISTING BOULDERS TO BE RELOCATED. SEE SHEET L2.0
- AC UNIT TO REMAIN. PROTECT.

NOTES

- SEE COVER SHEET, U.0.0 FOR GENERAL NOTES.
- COORDINATE WITH THE GENERAL CONTRACTOR THE AREAS TO BE REMOVED BY THE GENERAL CONTRACTOR AND FINISH GRADING BY THE LANDSCAPE CONTRACTOR.
- REVIEW WITH ARCHITECT OF RECORD THE EXISTING GARDEN SOIL TO BE SALVAGED AND STOCKPILED ON SITE. PROVIDE EROSION CONTROL TO PREVENT SOIL RUN OFF OR AIRBORNE DUST TO ADJACENT PAVEMENT AND STRUCTURES.
- UTILITIES**
REVIEW WITH GENERAL CONTRACTOR. ALL UTILITIES TO BE REMOVED AND DISPOSED BY OTHERS. PROTECT ALL UTILITIES TO REMAIN.



GRAPHIC SCALE: 1" = 20'-0"
at full size (24" x 36" sheet)
CALL TOLL FREE: 800-362-2764
ONLINE: WWW.RDPROFS.COM

**SITE PREP PLAN
NORTH**



**THE SEVEN HILLS SCHOOL
EARLY CHILDHOOD CENTER**
THE NATURE PLAYSCAPE
5400 RED BANK ROAD
CINCINNATI, OHIO 45227
513 728 2400

**RACHEL ROBerson DESIGN
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FAX: 513 621-3210



No.	Revision/Issue	Date
01	50% CD'S	10/15/14
02	90% CD'S	11/19/14
03	100% CD'S	12/15/14
04	ZONING COMPLIANCE/REVISIONS	2/12/15

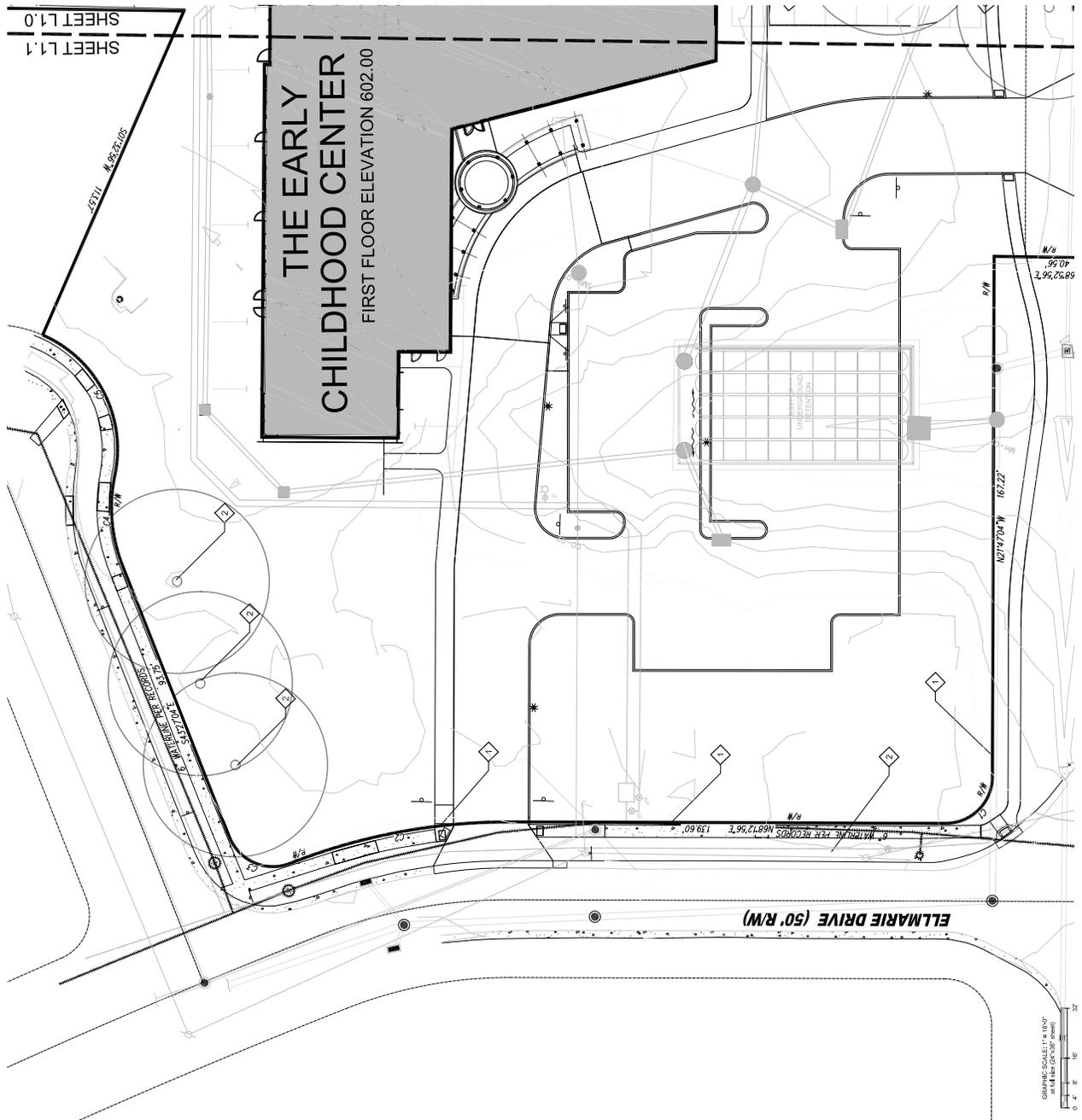
Project	141845
Date	02-12-15
Scale	SEE GRAPHIC SCALE
L1.1	

SITE PREPARATION PLAN

- CONSTRUCTION LIMITS ZONE/CONSTRUCTION FENCE CONTRACTOR IS RESPONSIBLE FOR DAMAGED OR REMOVED TREES AND STUMPS WITHIN AND BEYOND THE CONSTRUCTION LIMITS.
- PROVIDE TEMPORARY PROTECTION 4' HIGH ORANGE PLASTIC SAFETY FENCING WITH STAKE DRIVELINE OF TREES TO REMAIN. DO NOT STOCK PILE OR USE HEAVY EQUIPMENT OVER ROOT SYSTEMS WITHIN THE PROTECTION ZONE.
- TREES TO BE REMOVED BY SEVEN HILLS SCHOOL. NOT IN CONTRACT. SEVEN HILLS TO REMOVE AND DISPOSE TREES AND/OR STUMPS AND GRINDINGS. DO NOT DISTURB OR REMOVE TREES OR STUMPS THAT ARE TO REMAIN. VERIFY WITH LANDSCAPE ARCHITECT EXISTING TREES FOR REMOVAL.

NOTE

- SEE COVER SHEET, L0.0 FOR GENERAL NOTES.
- COORDINATE WITH THE GENERAL CONTRACTOR THE AREAS FOR ROUGH GRADING BY THE GENERAL CONTRACTOR AND FINISH GRADING BY THE LANDSCAPE CONTRACTOR.
- PROVIDE EROSION CONTROL TO PREVENT SOIL RUN OFF OR AIRBORNE DUST TO ADJACENT PAVEMENT AND STRUCTURES.
- UTILITIES
REVIEW WITH GENERAL CONTRACTOR. ALL UTILITIES TO REMAIN AND ALL UTILITIES TO BE DEMOLISHED BY OTHERS. PROTECT ALL UTILITIES TO REMAIN.
- REVIEW WITH ARCHITECT OF RECORD THE EXISTING GARDEN SOIL TO BE SALVAGED AND STOCKPILED ON SITE



LAYOUT PLAN
SOUTHWEST
CALL OUT NOTES



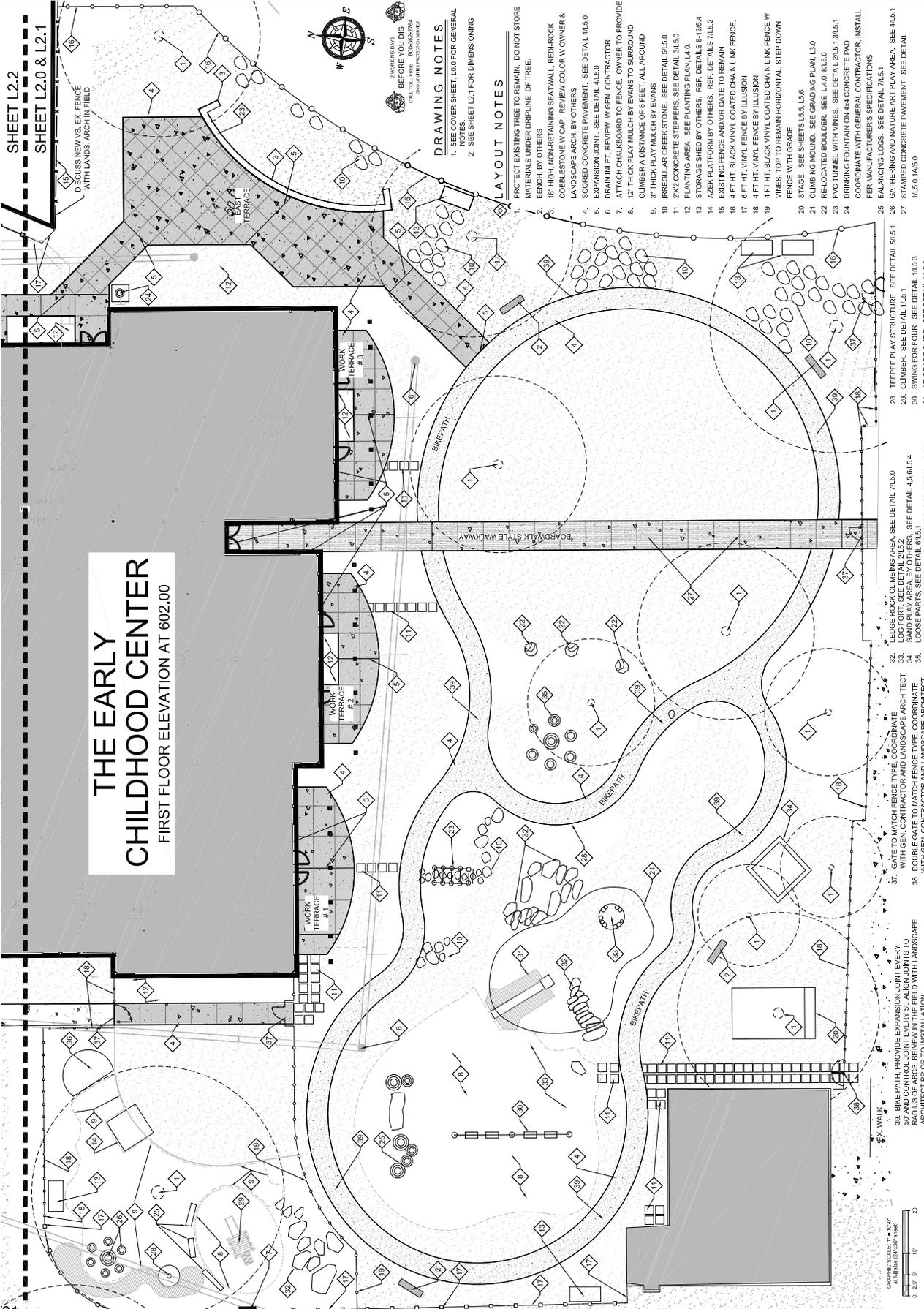
THE SEVEN HILLS SCHOOL
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No.	Revision/Issue	Date
01	50% CDS	10/15/14
02	80% CDS	11/19/14
03	100% CDS	12/15/14
04	ZONING COMPLIANCE BIDDING	2/12/15

Project	141645
Date	02-12-15
Scale	SEE GRAPHIC SCALE
Sheet	L2.0



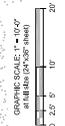
THE EARLY
CHILDHOOD CENTER
FIRST FLOOR ELEVATION AT 602.00

DRAWING NOTES
1. SEE COVER SHEET, L2.0 FOR GENERAL
2. SEE SHEET L2.1 FOR DIMENSIONING

LAYOUT NOTES
PROTECT EXISTING TREE TO REMAIN. DO NOT STORE MATERIALS UNDER DRUPLINE OF TREE.
BENCH BY OTHERS
18" HIGH, NON-RETAINING SEATWALL, REDLOCK COBLESTONE W/ CAP. REVIEW COLOR W/ OWNER & LANDSCAPE ARCH. BY OTHERS
SCORED CONCRETE PAVEMENT. SEE DETAIL 41.5.0
EXPANSION JOINT. SEE DETAIL 41.5.0
DRAIN INLET. REVIEW W/ GEN. CONTRACTOR
ATTACH CHALKBOARD TO FENCE. OWNER TO PROVIDE
12" THICK PLAY MULCH BY EVANS TO SURROUND CLIMBER A DISTANCE OF 6 FEET, ALL AROUND
3" THICK PLAY MULCH BY EVANS
IRREGULAR CREEK STONE. SEE DETAIL 51.5.0
2X2 CONCRETE STEPPERS. SEE DETAIL 31.5.0
PLANTING AREA. SEE PLANTING PLAN, L4.0
STORAGE SHED BY OTHERS. REF. DETAILS 8-13&5.4
AZEK PLATFORM BY OTHERS. REF. DETAILS 71.5.2
EXISTING FENCE AND/OR GATE TO REMAIN
4 FT. HT. BLACK VINYL COATED CHAIN LINK FENCE.
6 FT. HT. VINYL FENCE BY ILLUSION
4 FT. HT. BLACK VINYL COATED CHAIN LINK FENCE W/ VINES. TOP TO REMAIN HORIZONTAL. STEP DOWN FENCE WITH GRADE
STAGE. SEE SHEETS L5.1, L5.6
CLIMBING MOUND. SEE GRADING PLAN, L3.0
RE-LOCATED BOULDER. SEE L4.0, 81.5.0
PVC TUNNEL WITH VINES. SEE DETAIL 21.5.1, 31.5.1
DRINKING FOUNTAIN ON AND CONCRETE PAD COORDINATE WITH GENERAL CONTRACTOR. INSTALL PER MANUFACTURER'S SPECIFICATIONS
BALANCING LOGS. SEE DETAIL 71.5
CHANGING AND NAT. WIRE ART PLAY AREA. SEE 41.5.1
STEVED CONCRETE PAVEMENT. SEE DETAIL 71.5.0, 14.5.0

- 28. TERRACE PLAY STRUCTURE. SEE DETAIL 51.5.1
- 29. CHIMNEY. SEE DETAIL 51.5.1
- 30. SWING FOR FOUR. SEE DETAIL 11.5.3
- 31. AT GRADE SLIDE. SEE DETAIL 11.5.2
- 32. EDGE FOR CLIMBING AREA. SEE DETAIL 71.5.0
- 33. LOG FORT. SEE DETAIL 21.5.2
- 34. SAND PLAY AREA BY OTHERS. SEE DETAIL 4.5, 61.5.4
- 35. LOOSE PARTS. SEE DETAIL 61.5.1
- 36. BEGINNINGS SAND PLAY BY OTHERS. REF. DETAIL 1.3, 31.5.4

- 37. GATE TO MATCH FENCE TYPE COORDINATE ARCHITECT
- 38. DOUBLE GATE TO MATCH FENCE TYPE. COORDINATE WITH GEN. CONTRACTOR AND LANDSCAPE ARCHITECT
- 39. BIKE PATH - PROVIDE EXPANSION JOINT EVERY 50' AND CONTROL JOINT EVERY 15' AT FIELD WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.





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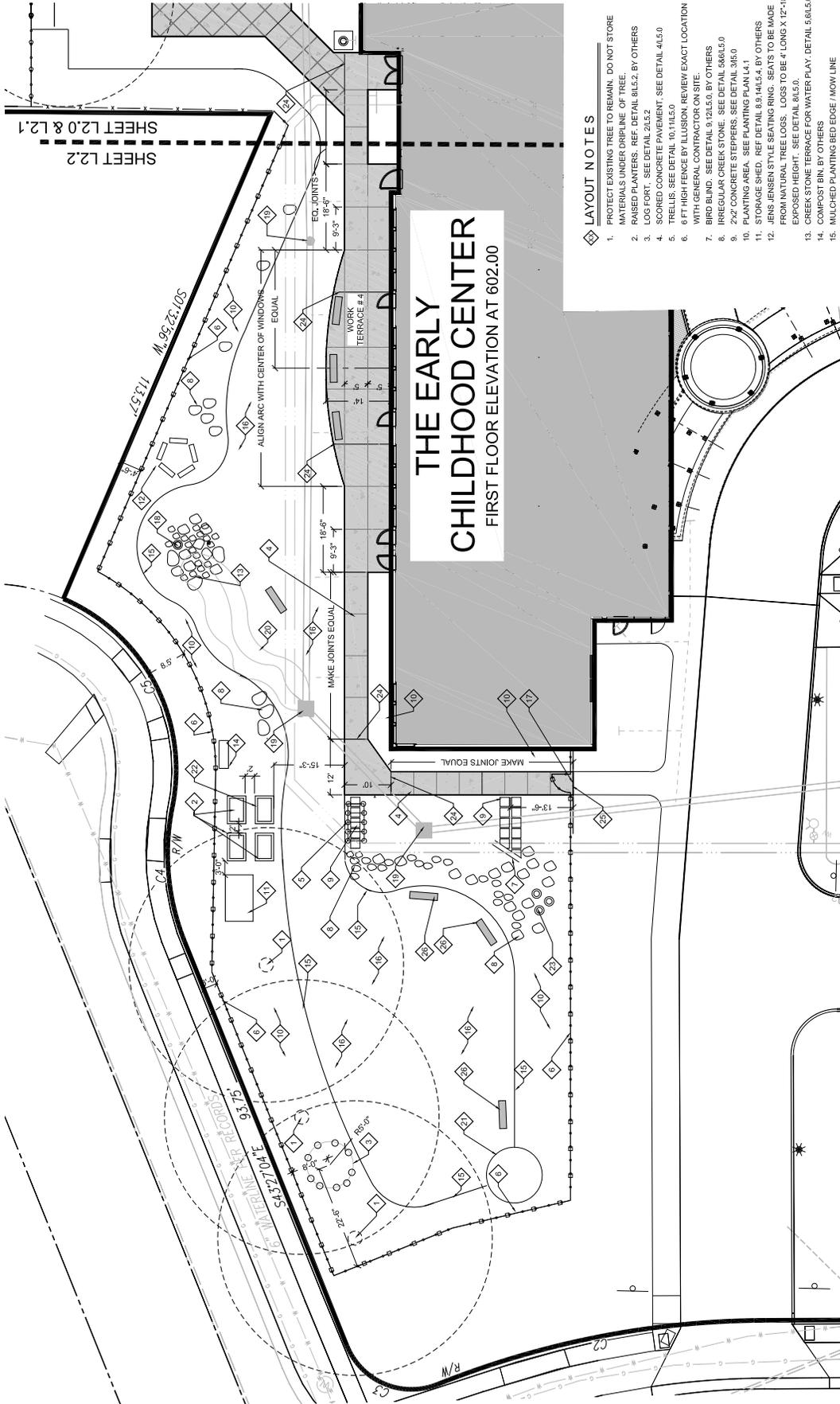
File Name and Address



01	50% CDP'S	10/15/14
02	80% CDP'S	11/19/14
03	100% CDP'S	12/15/14
04	ZONING COMPLIANCE / BIDDING	2/12/15

No.	Revision/Issue	Date

Project	141845
Date	02-12-15
Scale	SEE GRAPHIC SCALE
L2.2	

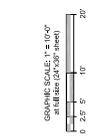


LAYOUT NOTES

- PROTECT EXISTING TREE TO REMAIN. DO NOT STORE MATERIALS UNDER DRIPLINE OF TREE.
- RAISED PLANTERS. REF DETAIL 8.0L5.2 BY OTHERS
- LOG FORT. SEE DETAIL 2.0L2
- SCORED CONCRETE PAVEMENT. SEE DETAIL 4.0L5.0
- TRELLIS. SEE DETAIL 10.0L11.5.0
- 6 FT HIGH FENCE BY ILLUSION. REVIEW EXACT LOCATION WITH GENERAL CONTRACTOR ON SITE.
- BIRD BLIND. SEE DETAIL 9.0L25.0 BY OTHERS
- IRREGULAR CREEK STONE. SEE DETAIL 5.0L5.0
- 2X2 CONCRETE STEPPERS. SEE DETAIL 3.0L5.0
- PLANTING AREA. SEE PLANTING PLAN L4.1
- STORAGE SHED. REF DETAIL 6.0L4.2.4 BY OTHERS
- SPRING. REF DETAIL 10.0L11.5.0
- WOODEN LOGS. LOGS TO BE 4" LONG X 12" DIA
- CREEK STONE TERRACE FOR WATER PLAY. DETAIL 5.0L5.0
- COMPOST BIN BY OTHERS
- MULCHED PLANTING BED EDGE / MOW LINE
- MURDOCK FOUNTAIN. INSTALL PER MANUFACTURER'S RECOMMENDATIONS SEE DETAIL 2.3.4L5.3
- EXISTING DRAIN
- FUTURE STREAMBED. NOT IN CONTRACT
- SAND PLAY. BY OTHERS. REF DETAIL 4.5.0L5.4
- COLD FRAME. BY OTHERS. REF DETAIL 3.4.5.0L5.2
- LOOSE PARTS. SEE DETAIL 6L5.1
- EXPANSION JOINT LOCATION. SEE DETAIL 4.0L5.0
- GATE TO MATCH FENCE TYPE. COORDINATE WITH GEN. CONTRACTOR AND LANDSCAPE ARCHITECT.
- BENCH BY OTHERS



DRAWING NOTES
1. SEE COVER SHEET, L0.0 FOR GENERAL NOTES.



GRADING PLAN
SOUTH



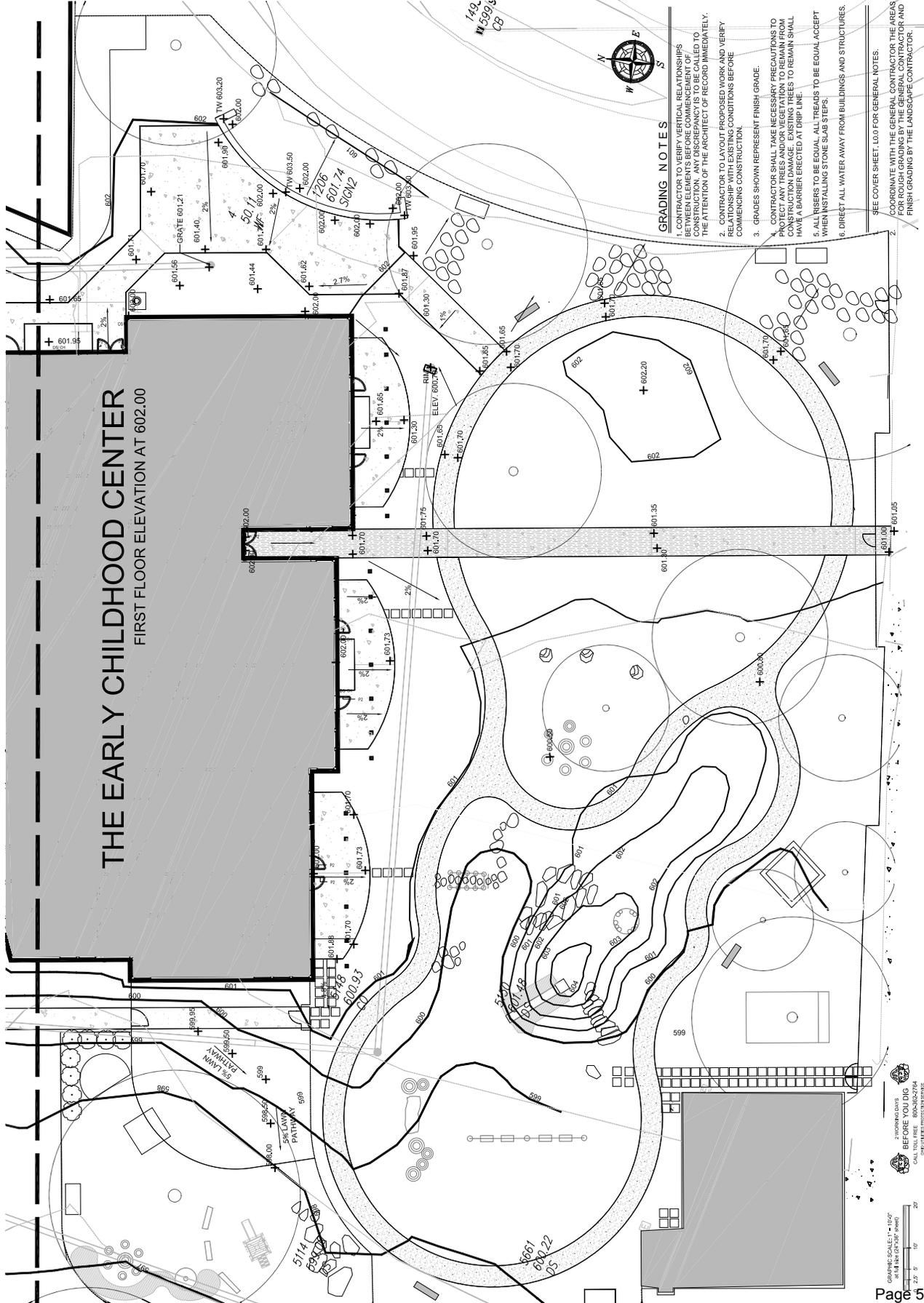
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No.	Revision/Issue	Date
01	50% CDS	10/19/14
02	90% CDS	11/19/14
03	100% CDS	12/15/14
04	ZONING CONFORMANCE BIDDING	2/12/15

Project	141645
Date	02-12-15
Scale	L3.0
SEE GRAPHIC SCALE	



GRADING NOTES

- CONTRACTOR TO VERIFY VERTICAL RELATIONSHIPS BETWEEN ELEMENTS BEFORE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY IS TO BE CALLED TO THE ATTENTION OF THE ARCHITECT OF RECORD IMMEDIATELY.
- CONTRACTOR TO LAYOUT PROPOSED WORK AND VERIFY RELATIONSHIP WITH EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION.
- GRADES SHOWN REPRESENT FINISH GRADE.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING TREES AND STRUCTURES FROM CONSTRUCTION DAMAGE. EXISTING TREES TO REMAIN SHALL HAVE A BARRIER ERECTED AT DRIP LINE.
- ALL RISERS TO BE EQUAL. ALL TREADS TO BE EQUAL ACCEPT WHEN INSTALLING STONE SLAB STEPS.
- DIRECT ALL WATER AWAY FROM BUILDINGS AND STRUCTURES.

SEE COVER SHEET, 0.0 FOR GENERAL NOTES.
COORDINATE WITH THE GENERAL CONTRACTOR THE AREAS FOR ROUGH GRADING BY THE GENERAL CONTRACTOR AND FINISH GRADING BY THE LANDSCAPE CONTRACTOR.



GRADING PLAN



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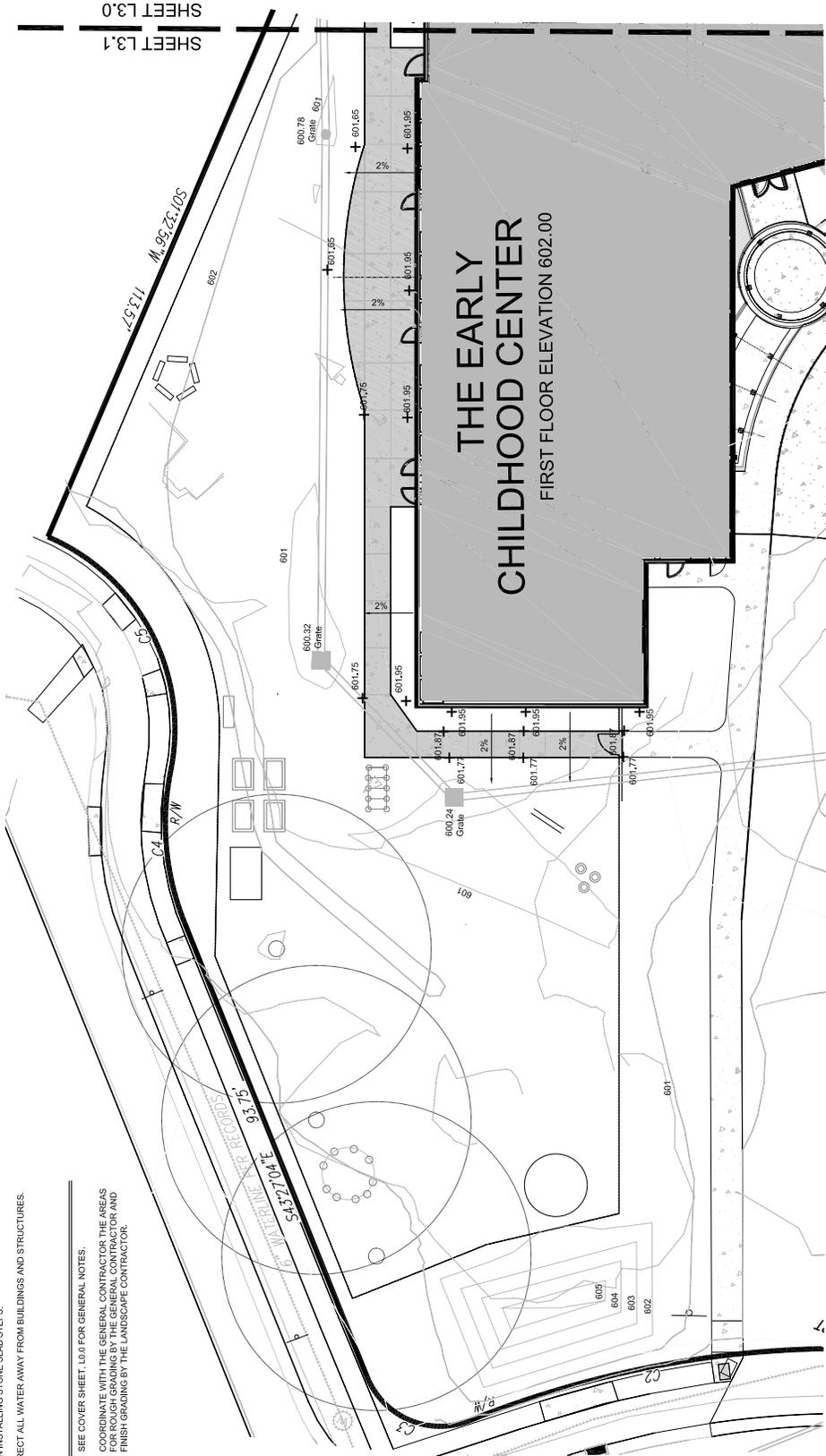
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02	90% CDS	11/19/14
03	100% CDS	12/15/14
04	ZONING COMPLIANCE BIDDING	2/12/15

Project	141645
Date	02-12-15
Scale	SEE GRAPHIC SCALE
L3.1	

GRADING NOTES

1. CONTRACTOR TO VERIFY VERTICAL RELATIONSHIPS BETWEEN ELEMENTS BEFORE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY IS TO BE CALLED TO THE ATTENTION OF THE ARCHITECT OF RECORD IMMEDIATELY.
2. CONTRACTOR TO LAYOUT PROPOSED WORK AND VERIFY RELATIONSHIP WITH EXISTING CONDITIONS BEFORE COMMENCING CONSTRUCTION.
3. ALL GRADES SHOWN REPRESENT FINISH GRADE.
4. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ANY TREES AND/OR VEGETATION TO REMAIN FROM CONSTRUCTION DAMAGE. EXISTING TREES TO REMAIN SHALL HAVE A BARRIER ERECTED AT DRIP LINE.
5. ALL RISERS TO BE EQUAL. ALL TREADS TO BE EQUAL. ACCEPT WHEN INSTALLING STONE SLAB STEPS.
6. DIRECT ALL WATER AWAY FROM BUILDINGS AND STRUCTURES.

1. SEE COVER SHEET, L0.0 FOR GENERAL NOTES.
2. COORDINATE WITH THE GENERAL CONTRACTOR THE AREAS FOR ROUGH GRADING BY THE GENERAL CONTRACTOR AND FINISH GRADING BY THE LANDSCAPE CONTRACTOR.



SHEET L3.1
 SHEET L3.0



2 WORKING DAYS
 BEFORE YOU DIG
 CALL TOLL FREE: 800-362-7764
 WWW.DIGNOTDIE.COM





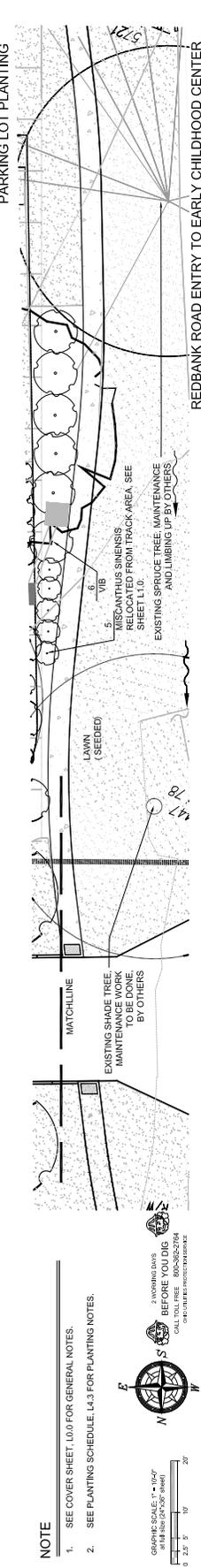
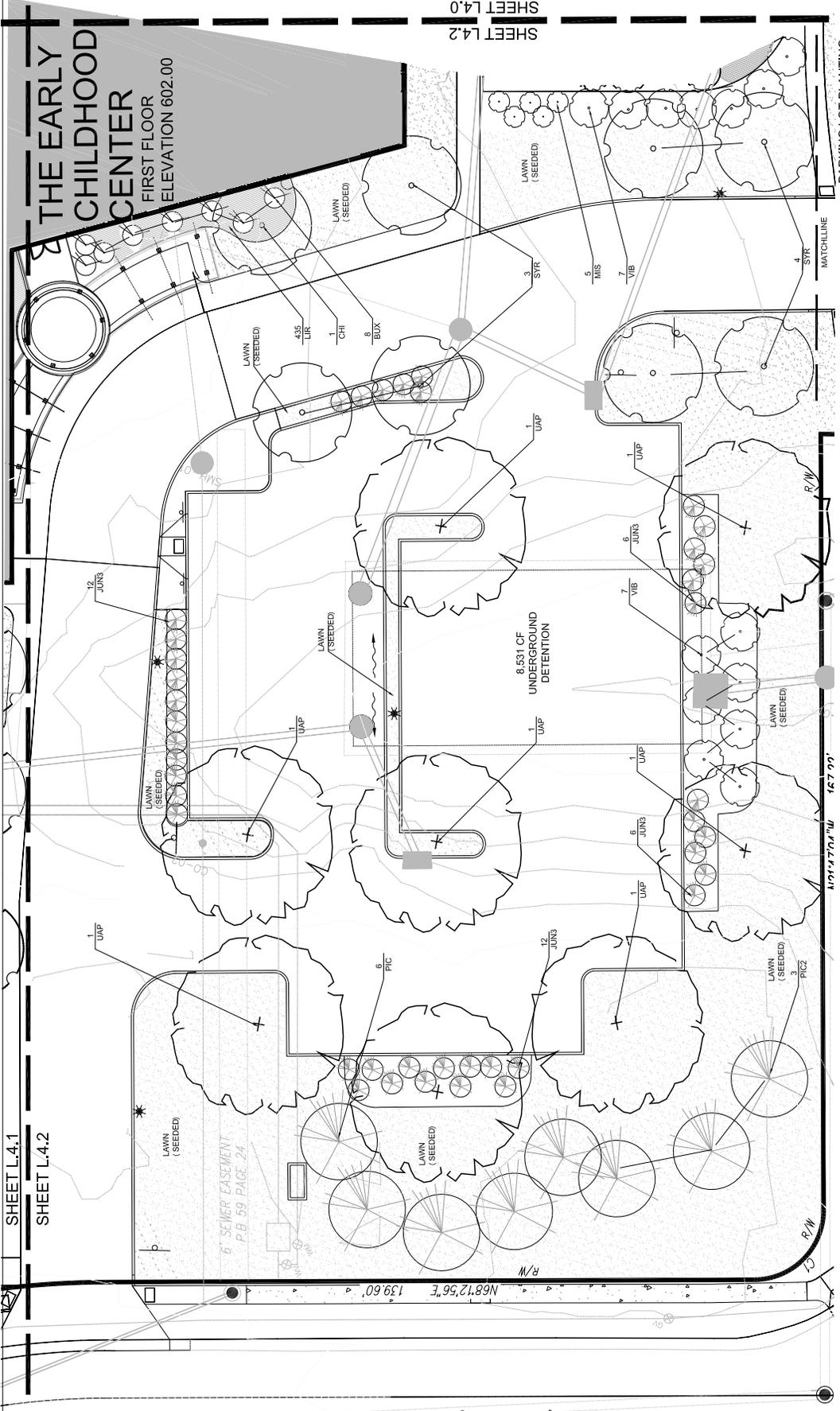
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01	50% CDS	10/15/14
02	90% CDS	10/15/14
03	100% CDS	12/15/14
04	ZONING COMPLIANCE/ BIDDING	2/12/15
No.	Revisory/Issue	Date

Project	141646
Date	02-12-15
Scale	SEE GRAPHIC SCALE
L4.2	



SHEET L4.1
SHEET L4.2

SHEET L4.2
SHEET L4.0

- NOTE**
- SEE COVER SHEET, L0.0 FOR GENERAL NOTES.
 - SEE PLANTING SCHEDULE, L4.3 FOR PLANTING NOTES.

GRAPHIC SCALE: 1" = 10'
0 2.5' 5' 10' 20'

3 WORKING DAYS
BEFORE YOU DIG
CALL TOLL FREE 800-882-2784
OHIO LANDSCAPE CONTRACTORS ASSOCIATION



PLANTING PLAN SCHEDULE



**THE SEVEN HILLS SCHOOL
EARLY CHILDHOOD CENTER
THE NATURE PLAYSCAPE
5400 RED BANK ROAD
CINCINNATI, OHIO 45227
513 728 2400**

From Name and Address
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CINCINNATI, OHIO 45202
TEL: 513-621-3100
FAX: 513-621-3110**



01	50% CDs	10/15/14
02	100% CDs	12/15/14
03	REVISION ONE	1/05/15
04	ZONING COMPLIANCE/ BIDDING	2/12/15
No.	Revision/Issue	Date

Project	1411645
Date	02-12-15
Scale	L4.3

PLANTING SCHEDULE:

KEY	QTY	BOTANICAL /COMMON NAME	SIZE/NOTES	KEY	QTY	BOTANICAL /COMMON NAME	SIZE/NOTES
ABE		ABELIA GRANDIFLORA 'SHERWOOD'	#3 CONT.	PERENNIALS/GROUNDCOVERS/VINES			
AME		AMELANCHIER X G. 'AUTUMN BRILLIANCE'	6-8' B&B	AJU		AUGIA REPTANS 'CANTLIN'	2-1/4" PEAT POT
AME		AUTUMN BRILLIANCE SERVICEBERRY	MULTI-STEMMED			CITRUS BULGWERD	#1 CONT.
BUX		BUXUS MICROPHYLLOIDES 'WINTER GEM'	30" MIN. SPREAD	AST		ASTILEBE CHINENSIS 'VISIONS'	#1 CONT.
CAR		CARPINUS BETULUS 'FASTIGIATA'	2" CAL. TREE FORM	ATH		ATHYRIUM FILIX 'LADY IN RED'	#1 CONT.
CHI		CHIONANTHUS VIRGINICUS	8-10' B&B	ECH		ECHINACEA PURPUREA	#1 CONT.
CER		CERIS CANADENSIS	2" B&B SPECIMAN	HIB		HIBISCUS MOESHEITOS 'LADY BALTHEORE'	#1 CONT.
ELO		EUONYMUS KAUITSCHOVICUS 'MANHATTAN'	#5 GAL.	IRV		IRIS VERSICOLOR	#1 CONT.
FOR		FORSYTHIA X INTERMEDIA 'LYNWOOD GOLD'	#3 GAL.	LUR		LURIDAE MISCARIB 'MAREGATA'	2-1/4" PEAT POT
ITE		ITEA VIRGINICA 'HERLOT'	#3 CONT.	PLS		PLUMBAGO VERNA 'CELESTIA'	#1 CONT.
JUN		JUNIPER CHINENSIS 'GOLD COAST'	#3 CONT.	SAL		SALVIA OFFICINALIS 'PURPURASCENS'	#1 CONT.
JUN2		JUNIPER CHINENSIS 'SEA GREEN'	#3 CONT.	SED		SEDUM S. 'NEWY'	#1 CONT.
JUN3		JUNIPER VIRGINIANA 'GRAY OWL'	#3 CONT.			SEDUM S. 'NEWY'	#1 CONT.
MAG		MAGNOLIA VIRGINIANA	8-10' B&B			SEDUM S. 'NEWY'	#1 CONT.
PIC		PICEA ABIES	6-8' B&B			SEDUM S. 'NEWY'	#1 CONT.
PIC2		PICEA PUGNENS 'GLAUC'	6-8' B&B			SEDUM S. 'NEWY'	#1 CONT.
RILU		RHUS AROMATICA 'LOW GROW'	#3 CONT.			SEDUM S. 'NEWY'	#1 CONT.
SPI		SPIRAEA X BURWALDA 'GOLDFLAME'	#5 CONT.			SEDUM S. 'NEWY'	#1 CONT.
SYR		SYRINGA RETICULATA 'IVORY SILK'	2" CAL. SPECIMAN			SEDUM S. 'NEWY'	#1 CONT.
SYR2		SYRINGA X BLOOMERANG	#5 CONT.			SEDUM S. 'NEWY'	#1 CONT.
SYR3		SYRINGA X VULGARIS 'SENSATION'	30-36" B&B			SEDUM S. 'NEWY'	#1 CONT.
THU		THUJA PLICATA 'SPRING GROVE'	15 GAL.			SEDUM S. 'NEWY'	#1 CONT.
VIB		VIBURNUM BURKWOODI 'CONDY'	30-36" B&B			SEDUM S. 'NEWY'	#1 CONT.
VIB2		VIBURNUM UTILE 'ESKIMO'	#7 CONT.			SEDUM S. 'NEWY'	#1 CONT.
VIB3		VIBURNUM PAVTODORAN 'LOIDES ALLEGHENY'	30-36" B&B			SEDUM S. 'NEWY'	#1 CONT.
VIB4		VIBURNUM NUDUM 'WINTERHUR'	30-36" B&B			SEDUM S. 'NEWY'	#1 CONT.
WEI		WEIGELIA FLORIDA 'WINE AND ROSES'	#5 GAL.			SEDUM S. 'NEWY'	#1 CONT.

PLANTING NOTES (CONTINUED)

- ALL PLANTS, TOPSOIL AMENDMENTS, MULCH, STONES, SEED MIX, AND FERTILIZER SHALL BE SHOWN AND SPECIFIED UNLESS OTHERWISE APPROVED BY THE ARCHITECT OF RECORD.
- ALL PLANT MATERIAL SHALL MEET AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS, AND IS SUBJECT TO INSPECTION AND APPROVAL BY LANDSCAPE ARCHITECT. ANY PLANTS NOT APPROVED BY ARCHITECT OF RECORD SHALL BE REPLACED WITH ACCEPTABLE SPECIMEN.
- PLANTING SOIL SHALL HAVE A RATIO OF LOOSE COMPOST TO TOPSOIL BY VOLUME 1:3, AND A RATIO OF LOOSE PEAT TO TOPSOIL BY VOLUME 1:3. SOIL SHALL BE TESTED TO VERIFY IT HAVE A PH RANGE OF BETWEEN 6.0 AND 7.5. (SEE PLANT SPECIFICATION SECTION 329300)
- TOPSOIL SHALL BE SHREDED AND HAVE A PH RANGE OF 6.5 TO 7. TOPSOIL SHALL BE CLEAN OF ROOTS, STONES, CLAY AND OTHER MATERIALS HARMFUL TO PLANT GROWTH.
- FERTILIZER FOR SHRUBS AND TREES SHALL BE OF COMMERCIAL GRADE AND OF A COMPOSITION RECOMMENDED FOR ESTABLISHMENT OF PLANT MATERIAL. FERTILIZER SHALL BE APPLIED TO THE SOIL SURFACE AND PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO THE SITE.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM OF SIX TO EIGHT INCHES OF MULCH. MULCH SHALL BE APPLIED TO ALL UNPAVED AREAS LOCATED IN AN EXISTING TREE ROOT AREA. VERIFY ALL DRAINAGE PATTERNS ARE DIRECTED AWAY FROM STRUCTURES AS INTENDED BEFORE PLANTING.
- PROTECT ROOTS OF EXISTING TREES. DO NOT ROTOTILL FOR BED OVER 12" DEEP. PROTECT EXISTING TREE ROOTS AND PLANTING DIG HOLES AVOIDING DAMAGE TO ROOTS OVER 12" DEEP.
- IF DISCREPANCY BETWEEN PLANT NUMBER AND GRAPHIC, THE GRAPHIC SHALL PREVAIL.
- SEE PLANTING PLANS FOR AREAS TO SEED OR SOO LAWN AREAS.
- GRASS SEED, STATE-CERTIFIED SEED OF GRASS SPECIES. A SEED MIX FOR LAWN OF 75% TURF TYPE TALL FESCUE, 15% PERENNIAL RYE, 10% KENTUCKY BLUEGRASS.
- SOD: CONTRACTOR TO USE ONLY CULTIVARS THAT FALL IN THE TOP 50%R 10% OF THE NTEP. (NATIONAL TURFGRASS EVALUATION PROGRAM). SEE TURF AND GRASSES SPECIFICATION SECTION 329200.
- ALL PLANT MATERIAL WILL BE MULCHED WITH 2" THICKNESS OF SHREDED HARDWOOD MULCH SUPREME FERTILIZED AND WATERED IN.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR BEGINNING AT FINAL ACCEPTANCE OF WORK.

PLANTING
DETAILS



THE SEVEN HILLS SCHOOL
EARLY CHILDHOOD CENTER
THE NATURE PLAYSCAPE
5400 RED BANK ROAD
CINCINNATI, OHIO 45227
513 728 2400

File Name and Address

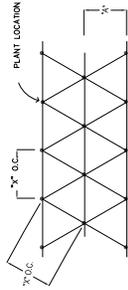
RACHEL ROBINSON DESIGN
LANDSCAPE ARCHITECTURE
1023 CELESTIAL STREET
CINCINNATI, OHIO 45202
TEL: 513 728 2400
FAX: 513 621-3130

File Name and Address

SHIP
LEADING DESIGN

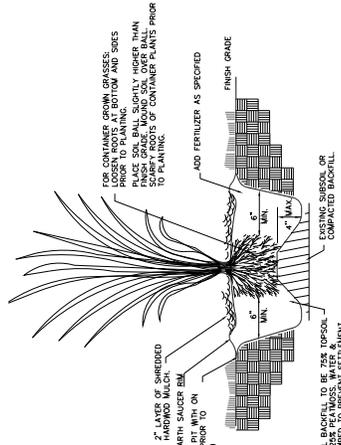
No.	Revision/Issue	Date
01	50% CDS	10/15/14
02	90% CDS	11/19/14
03	100% CDS	12/15/14
04	ZONING COMPLIANCE/ BIDDING	2/12/15

Project	141645
Date	02-12-15
Scale	L4.4

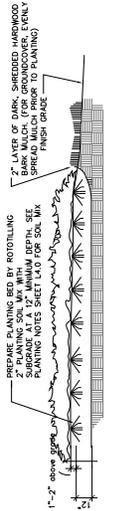


SPACING	SPACING
5'0.0"	7'3.0"
12'0.0"	10'11.7"
15'0.0"	13'3.4"
30'0.0"	26'7.0"
5'0.0"	3'4"

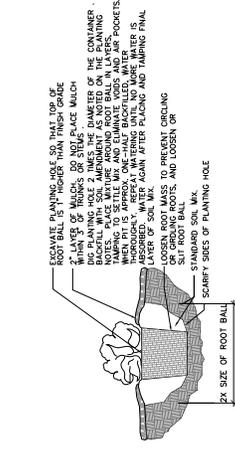
2 PLANT SPACING
SCALE: NTS



5 GRASS PLANTING
SCALE: NTS



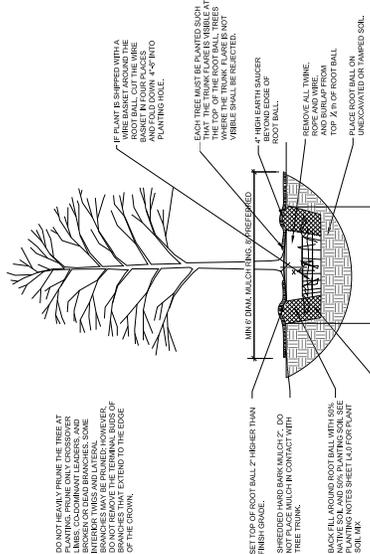
1 GROUND COVER PLANTING
SCALE: NTS



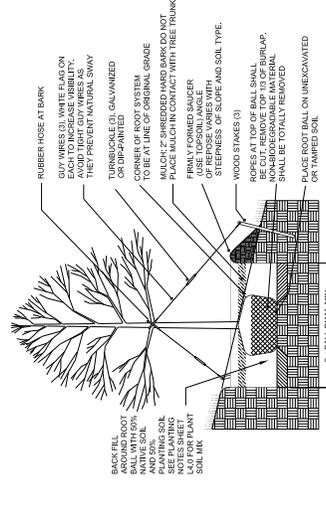
4 CONT. SHRUB/PERENNIAL PLANTING
SCALE: NTS



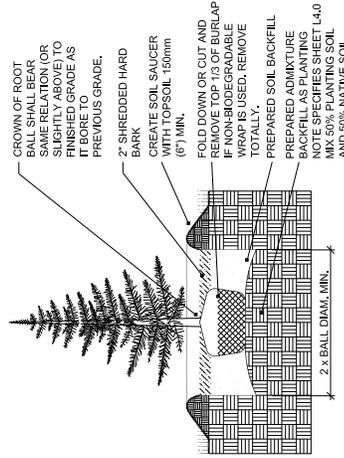
3 B&B SHRUB PLANTING
SCALE: NTS



6 TREE PLANTING
SCALE: NTS



7 TREE ON SLOPE WITH STAKES DETAIL
SCALE: NTS



8 EVERGREEN TREE DETAIL
SCALE: NTS

2 WORKING DAYS BEFORE YOU DIG CALL TOLL FREE 800-368-2764

DETAILS

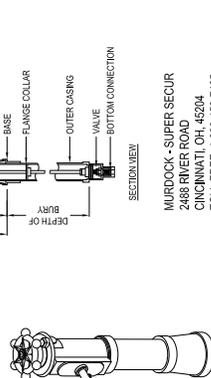


THE SEVEN HILLS SCHOOL
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CINCINNATI, OHIO 45227
513 728 2400

RACHEL ROBINSON DESIGN
LANDSCAPE ARCHITECTURE
 1033 CELESTIAL STREET
 CINCINNATI, OHIO 45202
 PHONE: 513 621-5210
 FAX: 513 621-5210

NOTES:

- ONE YEAR LIMITED WARRANTY.
- INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.Calchem.com/ohio
- LOCK COVER MURDOCK-LCT TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- MURDOCK TO SET ON 2" DIAMETER CONCRETE PAD. INSTALL ON CONCRETE PER MANUFACTURER'S SPECIFICATIONS.



ISOMETRIC VIEW

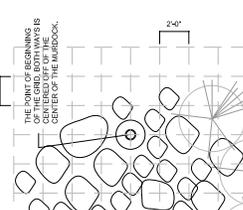
MURDOCK - SUPER SECUR
 2488 RIVER ROAD
 CINCINNATI, OH 45204
 PHONE: 513 355-7465
 PHONE: 658 855-5643
 FAX: 658 855-6880
[WWW.MURDOCK-SUPERSECUR.COM](http://www.murdock-supersecur.com)

ISOMETRIC AND SECTION
 DESCRIPTION: 3/4" INCH NON POLLUTABLE
 COMPRESSION HYDRANT (M-NPT) WITH LOCK

NOTE:

- CONTRACTOR TO INSTALL MURDOCK HYDRANT. CONTRACTOR TO VERIFY WITH NECESSARY HARDWARE, VALVES, FILLING SUPPLIES, AND ATTACHMENTS.
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- UNLESS NOTED OTHERWISE, ALL JOINING PAVED SURFACES SHALL BE FLUSH. SEE PLAN WHERE WATER WAY EDGE IS TO BE BOUNDARY BY 6" INCH RADIUS RIVER ROCK.
- CONTRACTOR SHALL INSTALL ALL CONCRETE WORK. APPLY TYPICAL EXPANSION JOINTS AT SEPARATE CONCRETE POURS AND MINIMUM BROOM FINISH AT ALL EXPOSED SURFACES.
- STONES TO BE EMBEDDED INTO CONCRETE GROUT TO AT LEAST 1/2" AS SHOWN. VARIABILITY OF CONCRETE BETWEEN STONES, CHASE SPACES BETWEEN LARGER STONES WITH 2" TO 2" DIAMETER WASHED RIVER STONE. PROVIDE SAMPLE TO ARCHITECT OF RECORD.

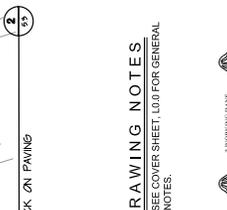
PLAN VIEW
 DESCRIPTION: MURDOCK ON PAVING
 SCALE: 1/4" = 1'-0"



DRAWING NOTES

- SEE COVER SHEET, L10.0 FOR GENERAL NOTES.

SECTION
 DESCRIPTION: MURDOCK ON PAVING
 SCALE: 3/4" = 1'-0"



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CONTRACTOR TO VERIFY WITH NECESSARY HARDWARE, VALVES, FILLING SUPPLIES, AND ATTACHMENTS.

UNLESS NOTED OTHERWISE, ALL JOINING PAVED SURFACES SHALL BE FLUSH. SEE PLAN WHERE WATER WAY EDGE IS TO BE BOUNDARY BY 6" INCH RADIUS RIVER ROCK.

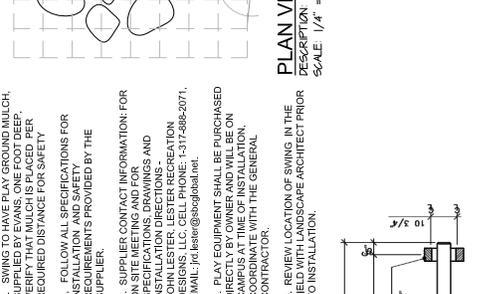
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NOTE:

- SWING TO HAVE PLAY GROUND MULCH, SUPPLIED BY EVANS, ONE FOOT DEEP, OVER THE ENTIRE SWING AREA. MAINTAIN REQUIRED DISTANCE FOR SAFETY.
- FOLLOW ALL SPECIFICATIONS FOR REQUIREMENTS PROVIDED BY THE SUPPLIER.
- SUPPLIER CONTACT INFORMATION: FOR ON SITE MEETING AND FOR SPECIFICATIONS, DRAWINGS AND INSTALLATION DIRECTIONS - CONTACT: SEATING DESIGN, LLC, CELL PHONE: 513-7488-2071, EMAIL: info.seater@sigglobal.net.
- PLAY EQUIPMENT SHALL BE PURCHASED DIRECTLY BY OWNER AND WILL BE ON CAMPUS AT TIME OF INSTALLATION. CONTRACTOR TO MAINTAIN WITH THE GENERAL CONTRACTOR.
- REVIEW LOCATION OF SWING IN THE SEATING PLAN AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

PLAN AND SECTION
 DESCRIPTION: TIMBER CURM SWING AND USE ZONE
 SCALE: 1/2" = 1'-0"



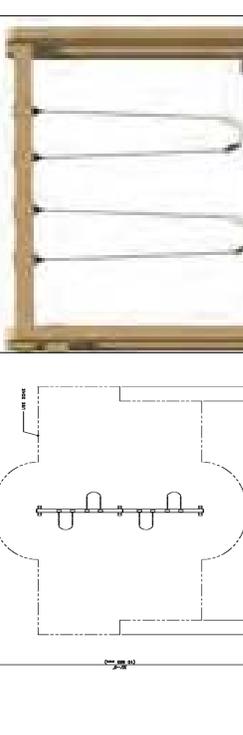
NOTE:

- REVIEW LOCATION OF SWING IN THE SEATING PLAN AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
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NOTE:

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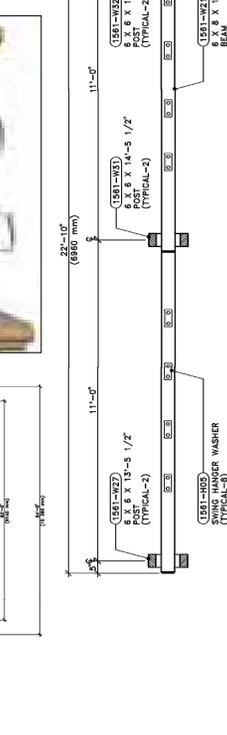
PLAN VIEW
 DESCRIPTION: MURDOCK ON PAVING
 SCALE: 1/4" = 1'-0"



DRAWING NOTES

- SEE COVER SHEET, L10.0 FOR GENERAL NOTES.

SECTION
 DESCRIPTION: MURDOCK ON PAVING
 SCALE: 3/4" = 1'-0"



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DETAIL



**THE SEVEN HILLS SCHOOL
EARLY CHILDHOOD CENTER
THE NATURE PLAYSCAPE**
5400 RED BANK ROAD
CINCINNATI, OHIO 45227
513 728 2400

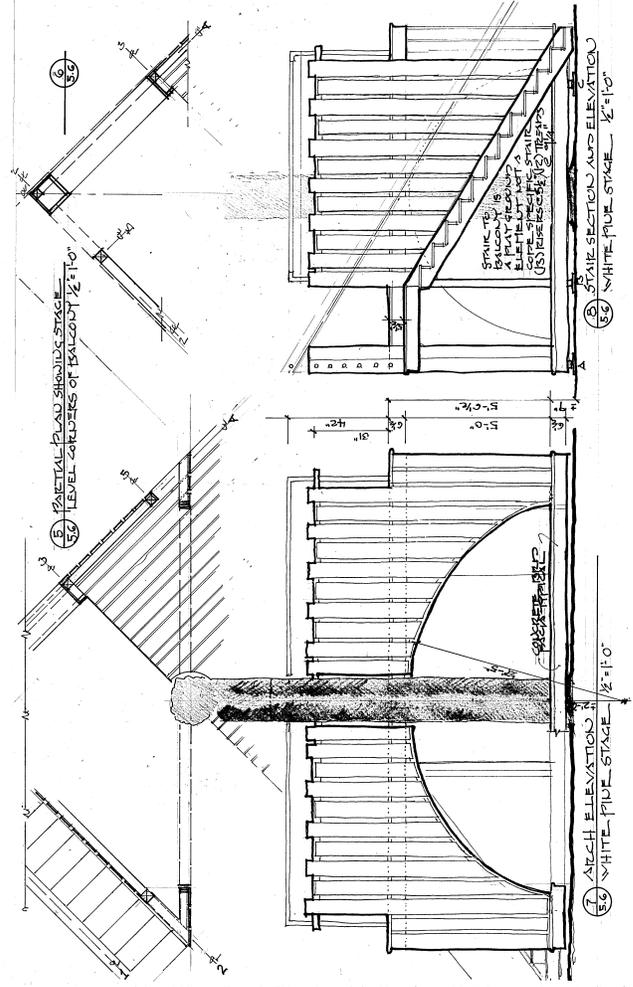
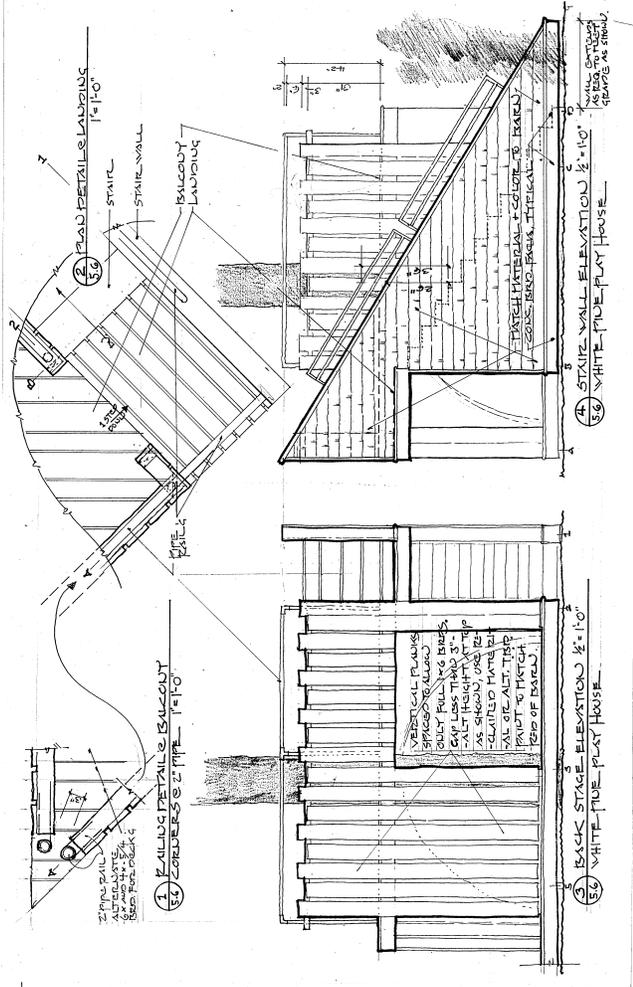
RACHEL ROBINSON DESIGN
ARCHITECTURE
10000 WOODBURN STREET
CINCINNATI OHIO 45262
PH: 513 236 2261
FAX: 513 642 5418

Project: 141845
Date: 12-15-14
Scale: SEBDETAILS

10/15/14
11/9/14
12/15/14

No.	Revision/Issue	Date
01	50% CDS	10/15/14
02	90% CDS	11/9/14
03	100% CDS	12/15/14

141845
12-15-14
SEBDETAILS
L5.6





HAMILTON COUNTY

Regional Planning Commission

STAFF REPORT

FOR CONSIDERATION BY THE BOARD OF ZONING APPEALS ON FEBRUARY 11, 2015

BZA CASE:

COLUMBIA 2015-01 (CONDITIONAL USE REQUEST)

6921 Windward Daycare

REQUEST:

CONDITIONAL USE approval for a “Type A” daycare facility located in an existing “C” Residence District

PURPOSE:

To convert an existing “Type B” daycare facility into a “Type A” daycare facility with an outdoor play area in the rear yard

APPLICANT:

LaToya Dixon (applicant & owner)

LOCATION:

Columbia Township: 6921 Windward Avenue, on the south side of Windward Avenue, 300 feet west of Berwick Avenue (Book 520, Page 172, Parcel 419)

SITE

Tract Size: 0.12 acres

DESCRIPTION:

Frontage: 35 feet on Windward Avenue and 35 feet on Polmeyer Alley

Topography: Flat

Existing Dvlpmt: Single-family residence with one-car garage exiting onto alley

**SURROUNDING
CONDITIONS:**

	<u>ZONE</u>	<u>LAND USE</u>
North:	“C” Residence	Single-family residential
South:	“SF-2” Single-Family (Cincinnati)	Single-family residential
East:	“C” Residence	Single-family residential
West:	“C” Residence	Single-family residential

SUMMARY OF

RECOMMENDATIONS

DENIAL

PROPOSED USE: The homeowner is proposing to expand an existing “Type B” daycare facility into a “Type A” daycare facility in order to increase the maximum permitted number of children at any one time at the daycare. The applicant has not stated their desired maximum number of children other than that the “Type B” limits them to six children. The “Type A” designation would permit the applicant to provide care for seven to 12 children at one time or for four to 12 children at one time if for the latter no more than four children are under two years of age. The property currently has pedestrian access from Windward Avenue and a one-car garage with access from a rear alley. The applicant has not proposed any improvements other than a fenced-in outdoor play area in the rear yard of the home as stated in their applicant letter. No site plan or floor plan has been submitted.

ZONING HISTORY: There is no zoning history for this site.

PREVIOUS BZA ACTION: There is no BZA history for this site.

ANALYSIS: Compliance with General Considerations for Conditional Uses

In accordance with Chapter 17 of the Zoning Resolution in order to approve a Conditional Use, the Board of Zoning Appeals shall make a finding that the proposed use is appropriate in the location where it is proposed. That finding must be based on the following considerations as contained in Section 17-6 as well as the specific criteria identified in Section 17-7.

- **Spirit and Intent:** The proposed use and development shall comply with the spirit and intention of the Zoning Resolution and with district purposes. *Findings: The proposed use would generally comply with the spirit and intent of the Zoning Resolution in that the proposed use would be consistent with the requirements of the “C” Residence district and Chapter 3 of the Zoning Resolution. However, the site does not comply with the Zoning Resolution criteria for “Type A” daycare facilities, as discussed below.*
- **No Adverse Effect:** The proposed use and development shall not have an adverse effect upon adjacent property or the public health, safety, morals and general welfare. *Findings: The proposed use would allow for up to 12 children on the property. Staff finds that the maximum permitted number of children at the property at any one time would not be offset by an increase in buffering from adjacent properties. There will likely be an increase in the perceived intensity from adjacent properties, especially to the east and west, as the lots within this area are 35 feet wide with homes setback approximately 8 feet from each other in the immediate area.*
- **Protection of Public Interests:** The proposed use and development should respect, to the greatest extent practicable, the natural, scenic and historic features of significant public interest. *Findings: There are no known features of significant public interest.*

- Consistent with Adopted Plans: The proposed use and development shall, as applicable, be consistent with objectives, policies and plans related to land use adopted by the Board of County Commissioners.

Findings: Columbia Township has an adopted Land Use Plan for this area. The designation for this property is High Density Residential. The proposed use is permissible in a residential zoning area. The proposed use would not conflict with the adopted Land Use Plan.

Compliance With Specific Conditional Use Criteria As Per Section 17-7

“Type A” daycares in Residential districts must comply with the following specific criteria:

17-7-(e): Setbacks from any adjacent residential property line shall be a minimum of 50 feet for all buildings and 25 feet for all parking areas.

Findings: The existing residence is setback approximately 30 feet from the Windward Avenue right-of-way, 8 feet from each side lot line, and 71 feet from the main residence to the right-of-way of the rear alley. The setback requirement is only met for the rear yard and no parking area has been proposed. Staff is concerned with the proximity of any outdoor rear play area to the adjacent residences to the east and west given the narrow lots and small existing building setbacks.

17-7-(g): Use shall have direct access to a collector or arterial street.

Findings: The property does not have direct access to a collector or arterial street. The site has frontage on Windward Avenue, which is classified as a Local Road, but the site has no driveway onto Windward Avenue and vehicular access onto the site is provided from a rear alley.

17-7-(h): The vehicular use area shall be located and designed as to minimize impact on the neighborhood.

Findings: No planned vehicular use area has been indicated by the applicant. The Zoning Resolution requires one space per four children of licensed capacity, plus an additional space for each employee. The applicant has not indicated additional employees, but it does not appear that the site could meet the minimum of three required off-street parking spaces with 12 children permitted. The site currently has space for one or two vehicles parked in the rear off the alley, and as seen in the site photos, on-street parking is occurring on both sides of Windward Avenue. Lack of a parking area may affect on-street parking in this area, but staff feels that the drop-off and pick-up of children below is a greater concern.

17-7-(i): Any use for which drop-off or pick-up of children, residents, visitors, products, or emergency vehicles is a common occurrences shall provide for the separation of incoming and outgoing vehicles so as not to impede other traffic

Findings: No planned child loading area has been indicated by the applicant. Staff is especially concerned by this as the site has no driveway onto Windward Avenue, meaning that children would likely be dropped-off and picked-up in the street. Also, as the on-street space in front of the residence is used as on-street

parking, should these spaces be occupied during drop-off/pick-up hours, children would potentially have to be loaded in the middle driving lanes of the street.

17-7-(n): The architectural design and site layout of the structure and the location, nature, and height of any walls, screens, and fences are to be compatible with adjoining land uses and the residential character of the neighborhood

Findings: *The site plan does not include any changes to the residential structure, existing fencing, or any other part of the property, and therefore will retain the current residential character.*

17-7-(p1): No signs shall be erected for purposes of identification except a permitted street address sign.

Findings: *The applicant has not proposed any signage.*

17-7-(r): Outdoor playgrounds, tot lots, exercise areas, and pools shall be fully enclosed by a fence.

Findings: *No site plan has been submitted, but the applicant has stated that a 4-foot fence would be constructed in the rear yard.*

17-7-(s): All exterior lighting shall be directed away from adjacent residential properties.

Findings: *The applicant has not indicated any plans for additional lighting.*

17-7-(y): The intensity of the particular use shall be evaluated with regard to the location, size, and configuration of the tract.

Findings: *The proposed daycare facility would be located on a lot that does not have enough size to meet the conditional use criteria. The small lot size in the area does not provide the required setbacks, vehicular access, or buffering that would minimize the impact on the area. Staff finds that the intensity would be too high for the area, leading to increased impacts on the adjacent residential properties.*

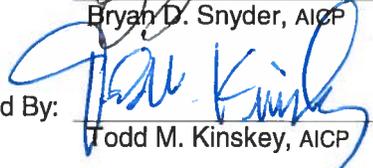
CONCLUSION: The above findings indicate that the proposed use would not meet the requirements of Section 17-6, General Considerations for Conditional Uses and Section 17-7, Specific Criteria Pertaining to Conditional Uses. Specifically, the proposed increase in intensity from residential to Day Care “Type A” use is not being offset by an increase in buffering to adjacent properties, the Conditional Use setbacks are not met, and as no vehicular or loading areas have been proposed. Therefore, staff finds that the development would not comply with the intentions of the Zoning Resolution and Conditional Use criteria.

RECOMMENDATION: Staff of the Regional Planning Commission recommends denial of BZA case Columbia 2015-01; 6921 Windward Daycare, a request for Conditional Use approval for a “Type A” daycare in an existing “C” Residence district.

NOTE: Recommendations and findings in this staff report reflect the opinions of the staff of the Hamilton County Planning and Zoning Department, but may not necessarily reflect the recommendation of any Commission. This staff report is primarily a technical report on the level of compliance with adopted land use regulations and plans. The report is prepared in advance of public hearings and often in advance of other agency reviews. Additional information from other agency reviews and public review is considered by appointed commissions and elected boards. Therefore, the advisory and final decisions of such commissions and boards may result in findings and conclusions that differ from the staff report.

Prepared By:  Senior Planner
Eric Fazzini, CNU-A

Reviewed By:  Development Services Administrator
Bryan D. Snyder, AICP

Approved By:  Executive Director
Todd M. Kinskey, AICP

SITE PHOTOS



View of Windward Ave frontage looking south at house in question



Eastern side yard looking south towards rear yard



Western side yard looking south towards rear yard

APPLICANT LETTER

LaToya Dixon
6921 Windward Street
Cincinnati, Ohio 45227

December 15, 2014

Hamilton County Board of Zoning Appeals
County Administration Building
138 E. Court Street, Room 801
Cincinnati, Ohio 45202

RE: Application for a conditional use

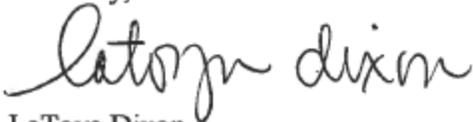
To Whom It May Concern:

I am writing to you today in regards to the Board of Zoning Appeals application, which, if approved, would allow for me to operate as a Type A Child Care Provider in my home of 6921 Windward Street, Cincinnati, Ohio 45227 (35 X 147.80, LOT 1087). As a Type A Child Care Provider I am able to care for four to twelve children at one time. I urge the Zoning Board to approve this petition.

Approval of this application will not affect the character of our community. Operating as a small family child care in Columbia Township will not only support the families that need care but allow them opportunities and access to educational programs, cultural activities, and charitable organizations. Although an increase in numbers, the child care will not potentially increase harm to the noise pollution or traffic to our small street; nor will it lower property values to neighbors or surrounding neighborhoods. The past three years I have become familiar with the planning and organization involved in providing quality child care to a variety of age ranges and needs within a safe and nurturing environment. To provide an outdoor play area that is safe for the children I will need to place a 4 ft. high fence around the back yard of my home. The Ohio Department of Job and Family Services has estimated that this process will take six months to one year to complete, essentially giving our neighborhood time to adjust to any changes if needed.

I currently operate as a Type B Family Child Care Provider; this allows me to care for up to six children at one time. Columbia Township is a diverse community with attentive and friendly neighbors and convenient resources. Many of the residents of our community have chosen to live here for this very reason, and I humbly request that the Board of Zoning Appeals support my decision in becoming a Type A Child Care Provider.

Sincerely,


LaToya Dixon

RECEIVED



HAMILTON COUNTY

Board of Zoning Appeals

DEC 22 2014

Case No: CMCT2015-01

Filed: 12/17/2014

Hamilton County
Planning & Development
APPLICATION FORM

Submit Completed Application To: The Hamilton County Board of Zoning Appeals, County Administration Building, 138 E. Court Street, Room 801, Cincinnati, OH 45202 Phone: (513) 946-4550

Prepare a Letter referring to instructions in the "User's Guide" and including:

- a. The principal points set forth in this case shall be the same as those under which the administrative officer acted, whether the granting or refusal of a zoning certificate or any other decision based upon the regulation of the Zoning Resolution.
- b. A clear and accurate description of the proposed use
- c. Specific reference to the Chapter and Section(s) of the Zoning Resolution which, it is claimed, authorize the determination sought

NAMES AND ADDRESSES

Applicant LaToya Dixon

Owner LaToya Dixon

Address 6921 Windward Street
Cincinnati, Ohio 45227

Address 6921 Windward Street
Cincinnati, Ohio 45227

Email Address latoyapayne@msn.com

Email Address ladixon10@gmail.com

The undersigned LaToya Dixon hereby appeals under Chapter 21 & 22 and Section(s) _____ of the Zoning Resolution

to permit the construction of a own and operate as a Type A family child care

_____ in accordance with the plats, plans and other data hereto attached and made a part of this case.

PROJECT IDENTIFICATION

ZONE DISTRICT	AUDITOR'S BOOK NO.	AUDITOR'S PAGE NO.	AUDITOR'S PARCEL NO.	LOT NO.
<u>C</u>	<u>520</u>	<u>172</u>	<u>419</u>	<u>1087</u>

Project Location: 6921 Windward Street Cincinnati, Ohio 45227

I hereby depose and say that all the above information and that statements contained in all of the exhibits transmitted herewith are true.

LaToya Dixon
Applicant Signature

Sworn to and subscribed before me, this 17 day of December 2014

Etta J. Salter
Notary Public



Etta J. Salter
Notary Public, State of Ohio
Commission Expires 05-20-2019

APPLICATION FORM (continued)

APPLICATION NUMBER
CUCT2015-01

Address of Subject Property 6921 Windward Street Township Columbia Township

	NAME	ADDRESS	CITY	STATE	ZIP CODE	PHONE NO.
OWNER	LaToya Dixon	6921 Windward Street	Cinti.	Oh	45227	513 271-0057
CONTRACTOR						
PLANS BY						
APPLICANT	LaToya Dixon	6921 Windward Street	Cinti.	Oh	45227	513 271-0057

TYPE OF IMPROVEMENT: (Describe briefly proposed work)

Family child care home; Fenced-in backyard for child safety

PROPERTY OWNERSHIP

- Private
- Public (Federal, State, Local)
- Corporate
- Other

BZA ACTION REQUESTED

- Appeal
- Variance
- Conditional Use
- Compatible Non Conforming Use
- Non Conforming Use
- Other

State in detail all existing and proposed uses of this building or premises:

Existing Use residential; Type B family child care

Proposed Use Type A family child care

- Commercial
- Residential

Estimated cost of improvement for which this application is being made:

\$ NA

The owner(s) of this building and undersigned, do hereby covenant and agree to comply with all of the laws of the State of Ohio and the Zoning Resolution of the County of Hamilton, pertaining to building and constructing the proposed building or structure or making the proposed change or alteration in accordance with the plans and specifications submitted herewith, and certify that the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct.

Application By: LaToya Dixon Address 6921 Windward Street, 45227
DO NOT WRITE BELOW THIS LINE

Adopted: _____ Journalized: _____

BZA Filing Fee: _____ Cash _____ Check # _____

LaToya Dixon
6921 Windward Street
Cincinnati, Ohio 45227

December 15, 2014

Hamilton County Board of Zoning Appeals
County Administration Building
138 E. Court Street, Room 801
Cincinnati, Ohio 45202

RE: Application for a conditional use

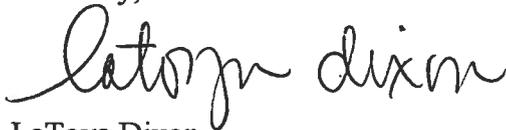
To Whom It May Concern:

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Sincerely,



LaToya Dixon

HAMILTON COUNTY BOARD OF ZONING APPEALS

County Administration Building
138 E. Court Street, Room 801
Cincinnati, Ohio 45202
513-946-4550

CHECKLIST FOR FILING A CONDITIONAL USE APPLICATION

Applications for a conditional use shall be **filed in person** with the Board of Zoning Appeals. A legal notice will be prepared by the Board of Zoning Appeals and placed in a newspaper of general circulation in the county at least 10 days prior to the public hearing. *The applicant will receive the bill for said legal notice.* The Board may also prepare for the applicant, if requested, a typewritten list of names and complete addresses of the property owners of all lots and lands located within 200 feet of the property requesting the appeal. Said list will be prepared from the County Auditor's current tax list. *The office of the Board will execute all forms, including individual and legal notices, necessary for the processing of an application.*

Hearings are held by the Board of Zoning Appeals in Room 805 of the County Administration Building, located at 138 East Court Street, Cincinnati, Ohio 45202

All complete applications shall include the following information. *Please submit this checklist with your application.*

1. THE LETTER - Please provide 1 copy

An explicit typewritten statement addressed to the Board of Zoning Appeals, setting forth the following:

- _____ The location and size of the property.
- _____ A clear and accurate description of the proposed construction or use of the property.
- _____ State clearly the reasons why the conditional use is compatible with and will have no adverse impact on the land uses permitted in the district in which it is located
- _____ State clearly the extent of additional protection from adverse impacts afforded to the adjacent property owners including protection from aesthetic, lighting, traffic, noise, and other issues

2. THE SITE PLAN - Provide six (6) full size drawings + two (2) reduced drawings, 11" x 17" or smaller

The site plan shall be drawn to scale of not less than 1 inch equals 50' and shall contain the following information.

- _____ Surveyor's Seal (*Required for all new dwellings, residential additions or structures over 600 sq. ft. or less than 10' from a property line, and all commercial buildings.*)
- _____ Name of person(s) preparing the plan
- _____ Title, name of owner, & name of builder/contractor
- _____ North Arrow (North to top of plan)
- _____ Property lines, property dimensions, street name(s), site size
- _____ Intensity in terms of impervious surface ratio (ISR) calculations for all non-residential applications or density in terms of dwelling units per acre for residential applications
- _____ Existing and proposed buildings & other structures including the use of each structure

- _____ Distance from structures to property lines
- _____ Paving, parking areas, driveways, walks, etc.
- _____ Parking space, aisle & drive dimensions, & parking analysis
- _____ Identify land uses on parcels adjoining the proposed site and within the surrounding neighborhood
- _____ Streetscape & boundary buffer yards & interior landscape areas
- _____ Existing & proposed grades and flood plains
- _____ Easements & purpose of easements

Note: Modification or changes to the plats and/or plans approved by the Board are subject to review by the Board and a new case may be required.

3. THE LANDSCAPE & LIGHTING PLAN

Provide six (6) full size drawings + two (2) reduced drawings, 11" x 17" or smaller

The landscape & lighting plan(s) shall be drawn to scale of not less than 1 inch equals 50 feet. A landscape & lighting plan is not required for single family dwellings and similar uses not subject to buffering and landscape standards, but when required for other uses, the plan shall contain the following information.

- _____ Landscape Architects Seal or plants selected from Appendix A-2 – Recommended Plant List
- _____ Streetscape buffer yard width & location
- _____ Boundary buffer yard(s) width & location
- _____ Interior landscape areas size & location
- _____ Detailed schedule of planting materials including type, size, and location within each yard or area
- _____ Location and details (height, type, etc.) of any exterior light fixtures or poles
- _____ Indication (either photometric plan or similar lighting plan) that the light levels will be less than 0.5 footcandles at all property lines.

4. THE STRUCTURAL DRAWING – Provide six (6) sets of elevation drawings.

5. THE APPLICATION – Complete one (1) copy of the BZA application form.

6. THE FEE \$ _____ + Legal Advertisement

An application fee is required when the appeal is filed (all fees are nonrefundable and must be made payable to the Hamilton County Treasurer). Contact the Board of Zoning Appeals at 946-4550 for additional information.

Checklist Prepared by: Name LaToya Dixon
 Address 6921 Windward Street
 Phone 513 271-0051
 E-Mail latoyapayne@msn.com ; ladixon10@gmail.com
 Date 15 December 2014



HAMILTON COUNTY

Regional Planning Commission

STAFF REPORT

FOR CONSIDERATION BY THE BOARD OF ZONING APPEALS ON FEBRUARY 11, 2015

**BZA CASE: GREEN 11-99 (CONDITIONAL USE MODIFICATION)
ST. IGNATIUS CHURCH**

REQUEST: CONDITIONAL USE approval to modify a previously approved plan for a church use located in an existing “B” Residence and “E” Retail District

PURPOSE: To modify the approved site plan to allow for a 6,200 square foot addition to the St. Ignatius Church building including modifications to the parking areas surrounding the building

APPLICANT: David Sweeney, DPS Architects, LLC (applicant); Archbishop of Cincinnati (owner)

LOCATION: Green Township: On the northeast corner of the Boomer Road and North Bend Road intersection south of I-74 (Book 550, Page 73, Parcels 2, 3 and 69)

SITE DESCRIPTION:
Tract Size: Approximately 6.9 acres
Frontage: Approximately 800 feet on North Bend Road and 900 feet on Boomer Road
Topography: Relatively flat (athletic field sits below the Church and School)
Existing Dvlpmt: Church and School with several parking lots and athletic fields

SURROUNDING CONDITIONS:		<u>ZONE</u>	<u>LAND USE</u>
	North:	“E” Retail and “B” Residence District	I-74
	South:	“E” Retail, “B” Residence and “OO” Planned Office	Mercy West Hospital
	East:	“OO” Planned Office	Single-Family Homes
	West:	“E” Retail	Commercial Uses

SUMMARY OF RECOMMENDATIONS APPROVAL with Conditions

PROPOSED USE: The applicant is requesting to modify an approved Conditional Use plan to construct a 6,200 square gathering space to the existing western façade of the St. Ignatius Church facing North Bend Road. The building will also contain an additional 4,700 square foot basement. No seats will be added to the 820-seat church. The applicant describes the proposed new space as a ‘gathering space for the congregation directly before and directly after Mass’. The applicant also states that the addition will match the look of the existing church. The site would continue to be accessed via the existing curb cut from North Bend Road and no new curb cuts are being proposed. The double-loaded 28-space parking row located in front (west) of the church would be removed to make room for a drop-off area. Several of the existing parking spaces and the drive-way around the church would be redesigned. A parking analysis has been requested but has not been provided.

ZONING HISTORY: In 1999, a Zoning Certificate was refused by the Hamilton County Plans Examiner to permit the construction of a new 79-space parking lot that was accessory to the church. The proposal did not meet the minimal interior landscaping and streetscape buffer requirements of the Zoning Resolution. The appeal was approved by the BZA to permit the construction of the parking lot as proposed and the BZA required 29 canopy trees and 48 shrubs in the area of the proposed improvements.

In 2000, a 144 square foot scoreboard was approved near the athletic field located northwest of the church with the condition that no advertising be permitted on the scoreboard.

In 2001, a Conditional Use was approved for a new 3-story school building which connected the two existing school buildings together into one building along with a parking lot which added 152 additional parking spaces. Three conditions were placed on the site that included additional landscaping along the Boomer Road streetscape, revised access from Boomer Road and the provision for a turn-around at the end of the parking aisle along Boomer Road.

Church uses are permitted as conditional uses in the “B” Residence District and are permitted uses in the “E” Retail District. The majority of the site improvements are being proposed within the “E” Retail District. However, a small portion of the proposed building expansion and some of the parking improvements are proposed in the “B” Residence District. The BZA has the authority to grant conditional uses in the “B” Residence District and has the authority to grant variances in the “E” Retail District. Therefore, the project in its totality is being reviewed by the BZA.

ANALYSIS: Compliance With General Considerations For Conditional Uses

In accordance with Chapter 17 of the Zoning Resolution in order to approve a Conditional Use, the Board of Zoning Appeals shall make a finding that the proposed use is appropriate in the location where it is proposed. That finding must be based on the following considerations as contained in Section 17-6 as well as the specific criteria identified in Section 17-7.

- Spirit and Intent: The proposed use and development shall comply with the spirit

and intention of the Zoning Resolution and with district purposes.
Findings: *A portion of the church expansion is located in a “B” Residence district which may be permitted as a conditional use while the majority of the expansion would be located within the “E” Retail District. The church use within the “E” Retail District is less intensive than a retail use. The proposed building expansion and parking lot changes comply with the spirit and intent of the Zoning Resolution in that neither constitutes a change of use and the proposed building expansion meets the required setbacks. However, since the proposal does include removing several parking spaces, staff finds that a parking analysis should be submitted to ensure that adequate parking exists for the church and school meeting the requirements of the Zoning Resolution.*

- **No Adverse Effect:** The proposed use and development shall not have an adverse effect upon adjacent property or the public health, safety, morals and general welfare.
Findings: *The proposed development would not likely have a negative impact on any adjacent property. The proposed building expansion would only be visible from Boomer Road and the businesses that exist along Boomer Road. This stretch of road has been recently improved and widened including a new entrance ramp configuration onto I-74 along with the construction of a new Hospital immediately to the south. Additionally, the proposed expansion appears to be an improvement to the façade of the building.*
- **Protection of Public Interests:** The proposed use and development should respect, to the greatest extent practicable, the natural, scenic and historic features of significant public interest.
Findings: *There are no known features of significant public interest.*
- **Consistent with Adopted Plans:** The proposed use and development shall, as applicable, be consistent with objectives, policies and plans related to land use adopted by the Board of County Commissioners.
Findings: *The adopted Green Township Land Use Plan designates this site for “PSI” Public, Semi-Public, & Institutional use. The proposed church expansion and associated parking lot changes would be consistent with this designation.*

Compliance With Specific Conditional Use Criteria As Per Section 17-7

Churches (and related uses) in Residential districts must comply with the following specific criteria:

17-7-(1): Measures shall be taken to minimize the impact of potential nuisances such as noise, odor, vibration, and dust on adjacent properties.

Findings: *The proposed church building expansion would not increase the noise, odor or vibration in the area except during construction. There are no adjacent residents in the area that would be affected by the proposed expansion.*

17-7-(o) (1): Landscaping shall be installed in accordance with one of the following buffers as described in detail in chapter 14:

- 1). Boundary Buffer A (shown in Fig. 14 A)
- 3). Streetscape Buffer (shown in Fig. 14 C).

Findings: Staff finds that a boundary buffer would not be required as the area of proposed improvements does not adjoin a zone district which would require a boundary buffer.

A landscaping plan has been submitted which indicates landscaping around the new church expansion and parking areas. Staff finds that this landscaping is sufficient to meet the interior parking lot landscaping requirements. However, it does not appear that the applicant has submitted the required streetscape buffer along North Bend Road. This area is located within the “E” Retail District and not part of the conditional use review but will be enforced upon issuance of a zoning certificate. Staff has measured the area of the proposed improvements along North Bend Road and finds that 5 canopy trees would be required within a 20 foot or average range between 10 and 30 feet of linear area along North Bend Road. Although there is some existing vegetation along North Bend Road, mainly in front of the school building, it does not appear there is an adequate amount of landscaping to meet the requirements of the streetscape buffer. Staff finds no reason why this requirement should not be met and finds that a landscaping plan should be submitted that meets the requirements of the Zoning Resolution.

17-7-(p) (3): One sign permitted at a maximum of 32 square feet.

Findings: No new signs are proposed for the school development. The site appears to have one freestanding sign which is a small-scale monument sign near the entrance of the church from North Bend Road. This sign appears to meet the 32 square foot maximum size.

17-7-(s): All exterior lighting shall be directed away from adjacent residential properties.

Findings: A lighting plan has not been submitted. Staff finds that a lighting plan that meets the requirements of the Zoning Resolution should be required.

CONCLUSION: The above findings indicate that the proposed changes to the approved development meet the requirements of Section 17-6, General Considerations for Conditional Uses and Section 17-7, Specific Criteria Pertaining to Conditional Uses, with the conditions listed below. The proposed church building expansion, while large in scale, does not affect any residential properties. Staff finds that with a landscaping plan and lighting plan that meets the Zoning Resolution, the proposed changes to the approved plan comply with the intentions of the Conditional Use review.

RECOMMENDATION: Staff of the Regional Planning Commission recommends approval of BZA case Green 11-99; St. Ignatius Church Expansion, a request for a modification to the Conditional Use approval subject to the following conditions:

Conditions:

1. That a lighting plan in compliance with the requirements of the Zoning Resolution shall be submitted as part of the Zoning Compliance Plan.
2. That a landscaping plan in compliance with the requirements of the Zoning Resolution shall be submitted as part of the Zoning Compliance Plan.

3. That a parking analysis shall be completed that meets the requirements of Table 12-9 of the Zoning Resolution.
4. That the parking lot and building modifications shall be constructed in accordance with the plats and plans submitted.

NOTE: Recommendations and findings in this staff report reflect the opinions of the staff of the Hamilton County Planning and Zoning Department, but may not necessarily reflect the recommendation of any Commission. This staff report is primarily a technical report on the level of compliance with adopted land use regulations and plans. The report is prepared in advance of public hearings and often in advance of other agency reviews. Additional information from other agency reviews and public review is considered by appointed commissions and elected boards. Therefore, the advisory and final decisions of such commissions and boards may result in findings and conclusions that differ from the staff report.

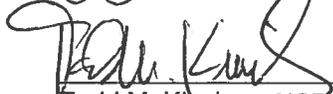
Prepared by:


John S. Huth, Senior Planner, Development Services

Reviewed by:


Bryan D. Snyder, AICP, Development Services Administrator

Approved by:


Todd M. Kinskey, AICP, Planning Director

SITE PHOTOS



View of the site looking southeast from North Bend Road

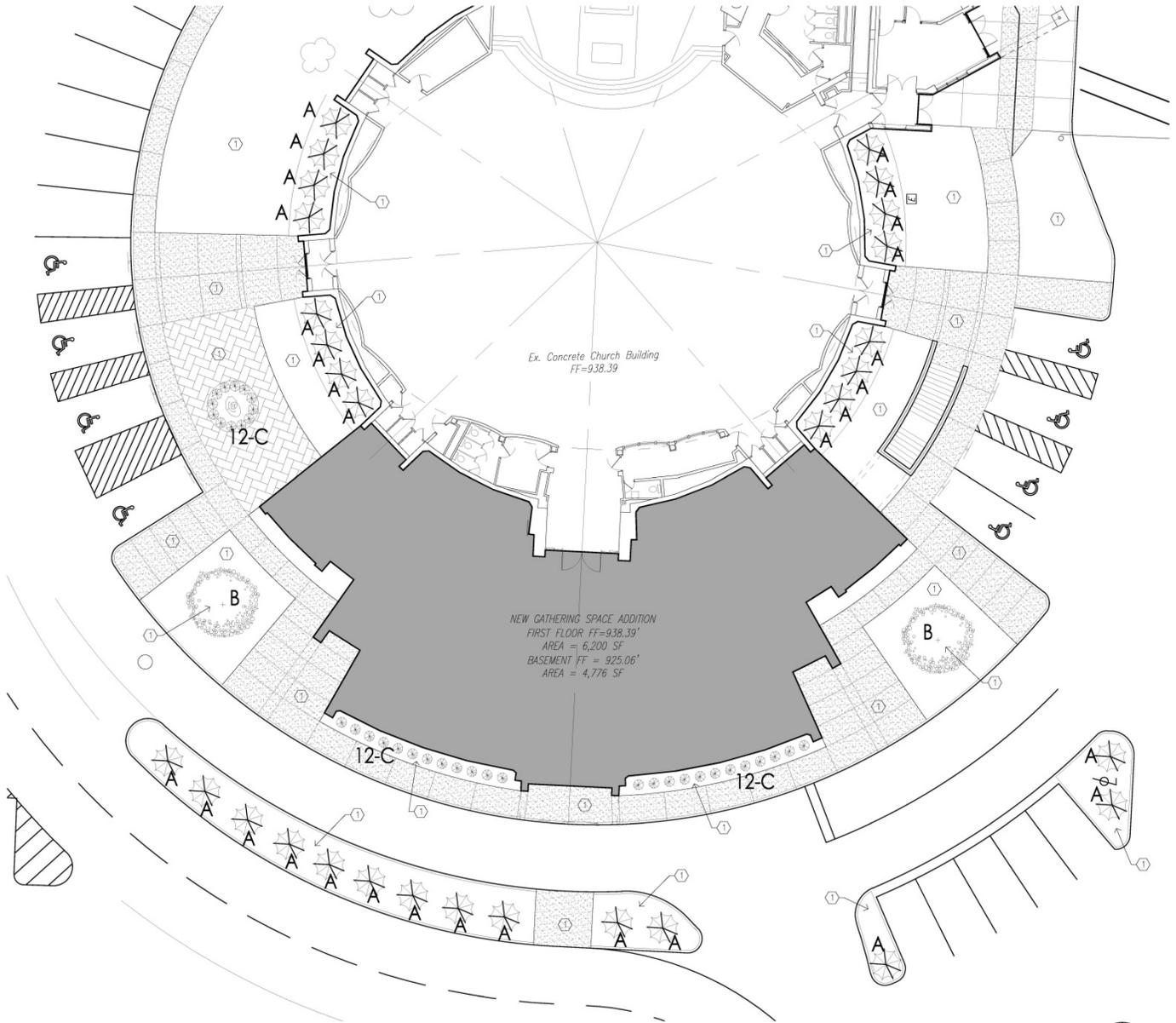


View of the site looking east from North Bend Road

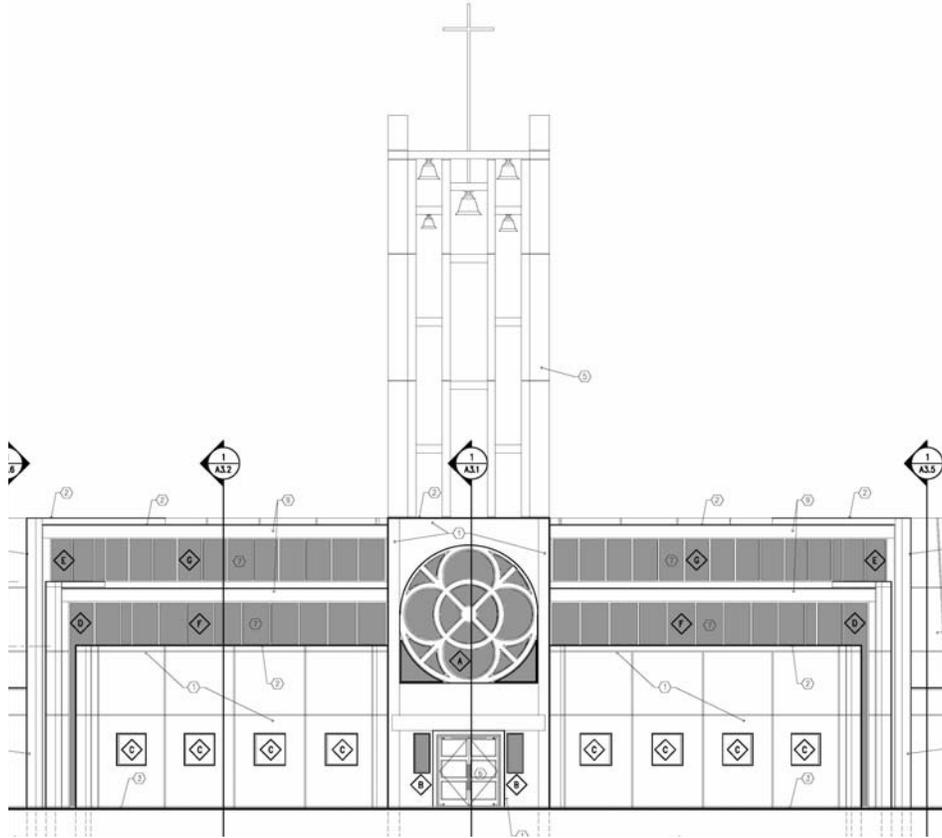


View of the site looking northeast from North Bend Road

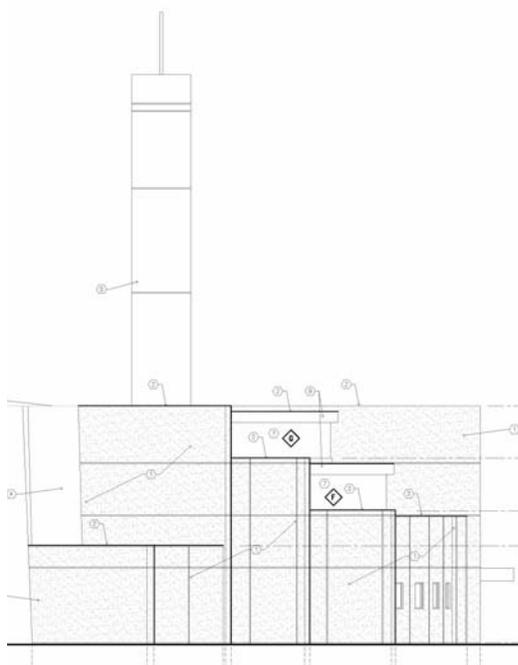
LANDSCAPING



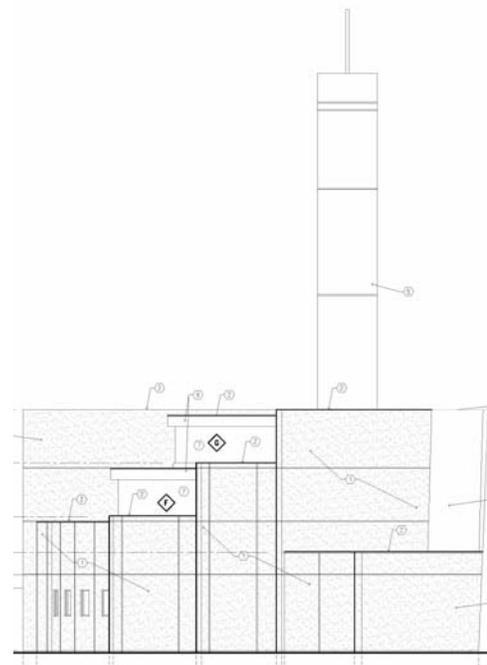
ELEVATIONS



West Elevation Facing North Bend Road



North Elevation



APPLICANT'S LETTER



dps architects, llc

January 13, 2015

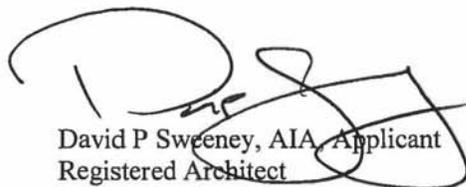
Hamilton County Board of Zoning Appeals
County Administration Building
138 E. Court St., Room 801
Cincinnati, OH 45202

**RE: Modification to Previously Approved Conditional Use
St. Ignatius Loyola Catholic Church
5222 North Bend Rd., Cincinnati, OH 45247**

Currently, an 820 seat church exists on the above named property, in addition to the current church offices, a social hall, rectory and school building. In addition, there are athletic fields and associated service structures. The Owner is requesting approval to construct a 6,200 sf addition to the existing church, with a 4,700 sf basement. This addition will serve as a Gathering space for the congregation directly before and directly after Mass (service), and will be constructed to match the look of the existing church in terms of scale and materials.

The intensity of the use of the property will not change as a result of this project. Visitors will arrive earlier and stay a little longer for Mass. The use of this addition is complimentary to the existing uses, and will not change the type of visitor to the property. In other words, the use of the new Gathering space is part of the liturgical process, and enhances the experience for the members of the parish.

On behalf of the Owner, Archbishop D. Schnurr, as Trustee for the Congregation of St Ignatius Loyola Catholic Church, we respectfully request approval of the Modification to the Previously Approved Conditional Use.



David P Sweeney, AIA, Applicant
Registered Architect



APPLICATION FORM

Submit Completed Application To: The Hamilton County Board of Zoning Appeals, County Administration Building, 138 E. Court Street, Room 801, Cincinnati, OH 45202 Phone: (513) 946-4550

Prepare a Letter referring to instructions in the "User's Guide" and including:

- a. The principal points set forth in this case shall be the same as those under which the administrative officer acted, whether the granting or refusal of a zoning certificate or any other decision based upon the regulation of the Zoning Resolution.
b. A clear and accurate description of the proposed use
c. Specific reference to the Chapter and Section(s) of the Zoning Resolution which, it is claimed, authorize the determination sought

NAMES AND ADDRESSES

Applicant DAVID P. SWEENEY Owner ARCHBISHOP OF CINCINNATI
Address 381 ALMEDIA DR. Address 5222 NORTH BEND RD.
MIAMISBURG, OHIO 45342 CINCINNATI, OHIO 45247
Email Address DAVID@DPS-ARCHITECTS.COM Email Address fr_pete@sainti.org

The undersigned DAVID P SWEENEY hereby appeals under Chapter 21 & 22 and Section(s) of the Zoning Resolution to permit the construction of a 6,200 SF ADDITION TO THE EXISTING CHURCH, INCLUDING MODIFICATIONS TO THE EXISTING PARKING LOT

in accordance with the plats, plans and other data hereto attached and made a part of this case.

PROJECT IDENTIFICATION

Table with 5 columns: ZONE DISTRICT, AUDITOR'S BOOK NO., AUDITOR'S PAGE NO., AUDITOR'S PARCEL NO., LOT NO. Values: B, E; 550; 0073; 0003; 00

Project Location: 5222 NORTH BEND RD., CINCINNATI, OH 45247

I hereby depose and say that all the above information and that statements contained in all of the exhibits transmitted herewith are true.



Sworn to and subscribed before me this

13th

day of

Applicant Signature

January, 2015

Notary Public

APPLICATION FORM (continued)

APPLICATION NUMBER
CUGT 11-2999

Address of Subject Property 5222 NORTH BEND RD., CINCINNATI, OH 45247 Township GREEN

(REVISION)

	NAME	ADDRESS	CITY	STATE	ZIP CODE	PHONE NO.
OWNER	ARCHBISHOP OF CINCINNATI	5222 NORTH BEND RD.	CINCINNATI	OH	45247	513.421.3131
CONTRACTOR	T.B.D.					
PLANS BY	DPS ARCHITECTS, LLC	381 ALMEDIA DR.	MIAMISBURG	OH	45342	937.469.3904
APPLICANT	DAVID P. SWEENEY, AIA	381 ALMEDIA DR.	MIAMISBURG	OH	45342	937.469.3904

TYPE OF IMPROVEMENT: (Describe briefly proposed work)

6,200 SF ADDITION TO THE EXISTING CHURCH, INCLUDING MODIFICATIONS TO THE EXISTING PARKING LOT

PROPERTY OWNERSHIP

BZA ACTION REQUESTED

- Private
- Public (Federal, State, Local)
- Corporate
- Other

- Appeal
- Variance
- Conditional Use
- Compatible Non Conforming Use
- Non Conforming Use
- Other

State in detail all existing and proposed uses of this building or premises:

Existing Use PLACE OF WORSHIP, OFFICES, SOCIAL HALL, MEETING ROOMS, SCHOOL, AND RECTORY

Proposed Use NO CHANGE - PLACE OF WORSHIP, OFFICES, SOCIAL HALL, MEETING ROOMS, SCHOOL, AND RECTORY

- Commercial
- Residential

Estimated cost of improvement for which this application is being made:

\$ 2,200,000.00

The owner(s) of this building and undersigned, do hereby covenant and agree to comply with all of the laws of the State of Ohio and the Zoning Resolution of the County of Hamilton, pertaining to building and constructing the proposed building or structure or making the proposed change or alteration in accordance with the plans and specifications submitted herewith, and certify that the information and statements given on this application, drawings and specifications are to the best of their knowledge, true and correct.

Application By: [Signature] Address 381 ALMEDIA DR., MIAMISBURG, OHIO 45342

DO NOT WRITE BELOW THIS LINE

Adopted: [Signature] Journalized: _____
 BZA Filing Fee: 592 + 60 = 652⁰⁰ Cash _____ Check # #1298



dps architects, llc

January 13, 2015

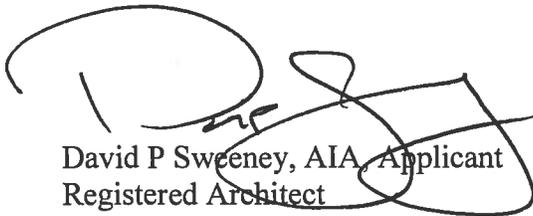
Hamilton County Board of Zoning Appeals
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The intensity of the use of the property will not change as a result of this project. Visitors will arrive earlier and stay a little longer for Mass. The use of this addition is complimentary to the existing uses, and will not change the type of visitor to the property. In other words, the use of the new Gathering space is part of the liturgical process, and enhances the experience for the members of the parish.

On behalf of the Owner, Archbishop D. Schnurr, as Trustee for the Congregation of St Ignatius Loyola Catholic Church, we respectfully request approval of the Modification to the Previously Approved Conditional Use.



David P Sweeney, AIA, Applicant
Registered Architect

HAMILTON COUNTY BOARD OF ZONING APPEALS

County Administration Building
138 E. Court Street, Room 801
Cincinnati, Ohio 45202
513-946-4550

CHECKLIST FOR FILING A CONDITIONAL USE APPLICATION

Applications for a conditional use shall be filed in person with the Board of Zoning Appeals. A legal notice will be prepared by the Board of Zoning Appeals and placed in a newspaper of general circulation in the county at least 10 days prior to the public hearing. *The applicant will receive the bill for said legal notice.* The Board may also prepare for the applicant, if requested, a typewritten list of names and complete addresses of the property owners of all lots and lands located within 200 feet of the property requesting the appeal. Said list will be prepared from the County Auditor's current tax list. *The office of the Board will execute all forms, including individual and legal notices, necessary for the processing of an application.*

Hearings are held by the Board of Zoning Appeals in Room 805 of the County Administration Building, located at 138 East Court Street, Cincinnati, Ohio 45202

All complete applications shall include the following information. *Please submit this checklist with your application.*

1. THE LETTER - Please provide 1 copy

An explicit typewritten statement addressed to the Board of Zoning Appeals, setting forth the following:

- The location and size of the property.
- A clear and accurate description of the proposed construction or use of the property.
- State clearly the reasons why the conditional use is compatible with and will have no adverse impact on the land uses permitted in the district in which it is located
- State clearly the extent of additional protection from adverse impacts afforded to the adjacent property owners including protection from aesthetic, lighting, traffic, noise, and other issues

2. THE SITE PLAN - Provide six (6) full size drawings + two (2) reduced drawings, 11" x 17" or smaller

The site plan shall be drawn to scale of not less than 1 inch equals 50' and shall contain the following information.

- Surveyor's Seal (*Required for all new dwellings, residential additions or structures over 600 sq. ft. or less than 10' from a property line, and all commercial buildings.*)
- Name of person(s) preparing the plan
- Title, name of owner, & name of builder/contractor
- North Arrow (North to top of plan)
- Property lines, property dimensions, street name(s), site size
- Intensity in terms of impervious surface ratio (ISR) calculations for all non-residential applications or density in terms of dwelling units per acre for residential applications
- Existing and proposed buildings & other structures including the use of each structure

- Distance from structures to property lines
- Paving, parking areas, driveways, walks, etc.
- Parking space, aisle & drive dimensions, & parking analysis
- Identify land uses on parcels adjoining the proposed site and within the surrounding neighborhood
- Streetscape & boundary buffer yards & interior landscape areas
- Existing & proposed grades and flood plains
- Easements & purpose of easements

Note: Modification or changes to the plats and/or plans approved by the Board are subject to review by the Board and a new case may be required.

3. THE LANDSCAPE & LIGHTING PLAN

Provide six (6) full size drawings + two (2) reduced drawings, 11" x 17" or smaller

The landscape & lighting plan(s) shall be drawn to scale of not less than 1 inch equals 50 feet. A landscape & lighting plan is not required for single family dwellings and similar uses not subject to buffering and landscape standards, but when required for other uses, the plan shall contain the following information.

- Landscape Architects Seal or plants selected from Appendix A-2 -- Recommended Plant List
- Streetscape buffer yard width & location
- Boundary buffer yard(s) width & location
- Interior landscape areas size & location
- Detailed schedule of planting materials including type, size, and location within each yard or area
- Location and details (height, type, etc.) of any exterior light fixtures or poles
- Indication (either photometric plan or similar lighting plan) that the light levels will be less than 0.5 footcandles at all property lines.

4. THE STRUCTURAL DRAWING – Provide six (6) sets of elevation drawings.

5. THE APPLICATION – Complete one (1) copy of the BZA application form.

6. THE FEE \$ 652.00 + Legal Advertisement

An application fee is required when the appeal is filed (all fees are nonrefundable and must be made payable to the Hamilton County Treasurer). Contact the Board of Zoning Appeals at 946-4550 for additional information.

Checklist Prepared by: Name DAVID SWEENEY
 Address 301 ALMEDA DR
 Phone 937.469.3904
 E-Mail dauid@dps-architects.com
 Date 1/13/15

F. ALL CONTRACTORS AND SUBCONTRACTORS SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS OF THE PROJECT PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO COMMENCEMENT OF WORK.

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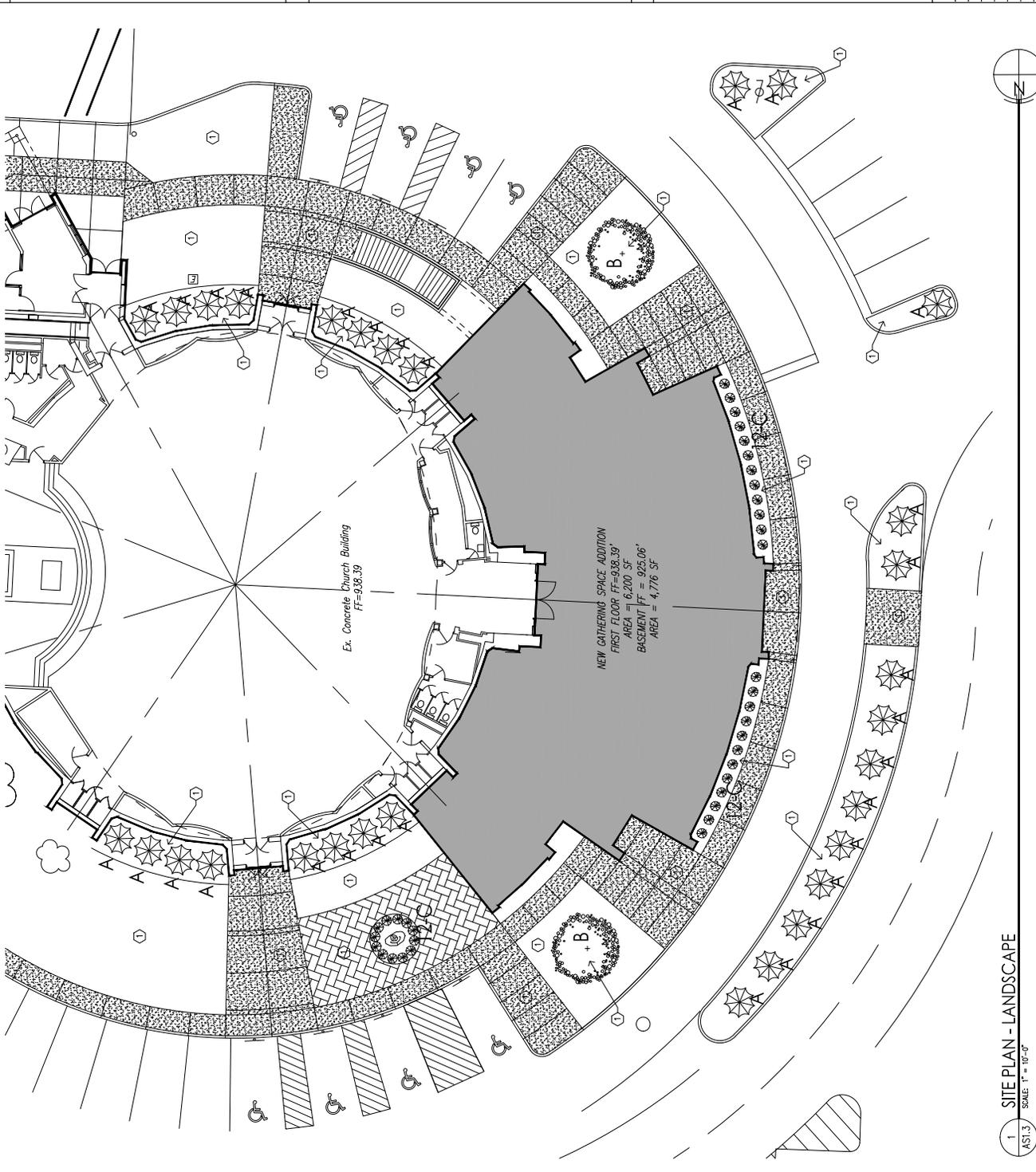
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1 SITE PLAN - LANDSCAPE
AS1.3 SCALE: 1" = 10'-0"

381 Cambridge Drive
Mansfield, Ohio 45424
www.dps-architects.com
dps architects, llc



NEW GATHERING
ST. IGNATIUS LOYOLA PARISH
5222 NORTH BEND RD., CINCINNATI, OH 45247

PROJECT NO. 13107.00
DATE 01.05.2015
LANDSCAPE PLAN SHEET
AS1.3

GENERAL NOTES

CONSTRUCTION NOTES

TREE INSTALLATION DETAIL

LANDSCAPE LEGEND

MARK	SPECIES AND COMMON NAME	QUANTITY	SIZE
A	EUDORIS ALPIS COMPACTUS	30	30" - 36"
B	MALUS 'YULZARI'	2	2 1/2' - 3'
C	HEBERGIAULUS 'SARGENT'	36	2 GAL

SEE PLANTING DETAIL B.B. FOR CONTAINER GROWN TREES

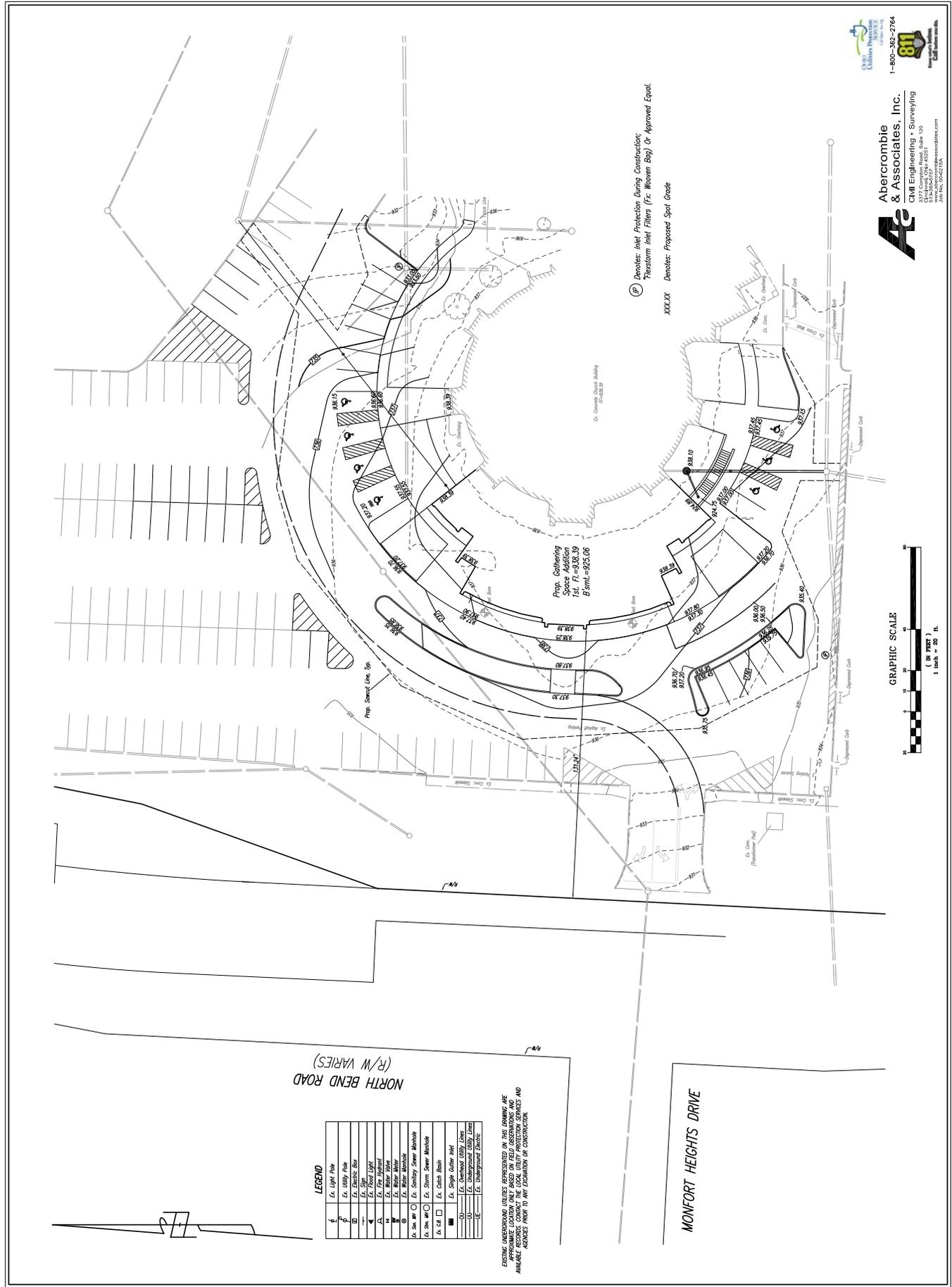
DATE ISSUED

dps architects, llc
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 (937) 469-3904
 www.dps-architects.com

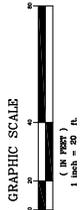
NEW GATHERING

ST. IGNATIUS LOYOLA PARISH
 NORTH BEND ROAD, CINCINNATI OHIO

PROJECT NO. 13107.00
 PROJECT NAME
 DATE 1.07.2015
 GRADING PLAN
 SHEET
 C3.0



(P) Denotes: Inlet Protection During Construction;
 Pre-Storm Inlet Filters (Fz: Woven Bag) Or Approved Equal.
 XXXXX Denotes: Proposed Spot Grade



AC Abercrombie & Associates, Inc.
 Civil Engineering + Surveying
 3307 Corporate Blvd, Suite 100
 Cincinnati, OH 45241
 1-800-363-2764
 www.aberconline.com
 Job No. 05-02125A

NORTH BEND ROAD
 (R/W VARIES)

MONFORT HEIGHTS DRIVE

LEGEND

4	Ex. Light Pole
5	Ex. Utility Pole
6	Ex. Storm Manhole
7	Ex. Storm
8	Ex. Flood Light
9	Ex. Fire Hydrant
10	Ex. Fire Alarm
11	Ex. Water Meter
12	Ex. Water Manhole
13	Ex. Storm Sewer Manhole
14	Ex. Storm Sewer
15	Ex. Catch Basin
16	Ex. Single Column Inlet
17	Ex. Overhead Utility Lines
18	Ex. Underground Utility Lines
19	Ex. Underground Electric

EXISTING UNDERGROUND UTILITIES REPRESENTED ON THIS DRAWING ARE
 AVAILABLE RECORDS. CONTACT THE LOCAL UTILITY PROVIDER SERVICES AND
 AGENCIES PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

GENERAL NOTES

A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CINCINNATI AND ALL APPLICABLE CODES AND ORDINANCES.

B. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AS REQUIRED FOR CONSTRUCTION WORK AND OTHERWISE AS APPLICABLE TO THE PROJECT.

C. THESE DRAWINGS AND ALL OTHER DRAWINGS IN THIS SET ARE INTENDED TO BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK.

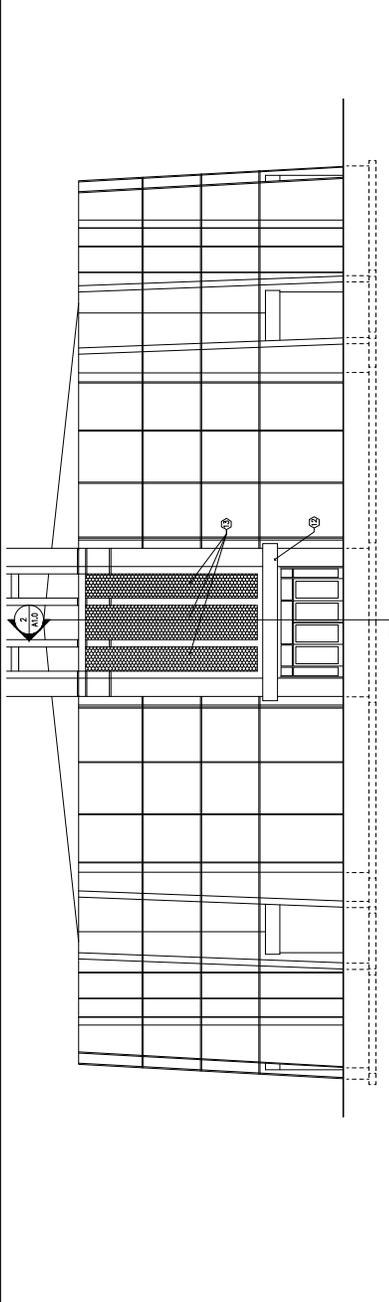
D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CINCINNATI AND ALL APPLICABLE CODES AND ORDINANCES.

E. ANY ITEM NOTED ON ONE DRAWING SHALL BE COORDINATED WITH THE OTHER DRAWINGS AND DATA AS SPECIALLY NOTED OTHERWISE.

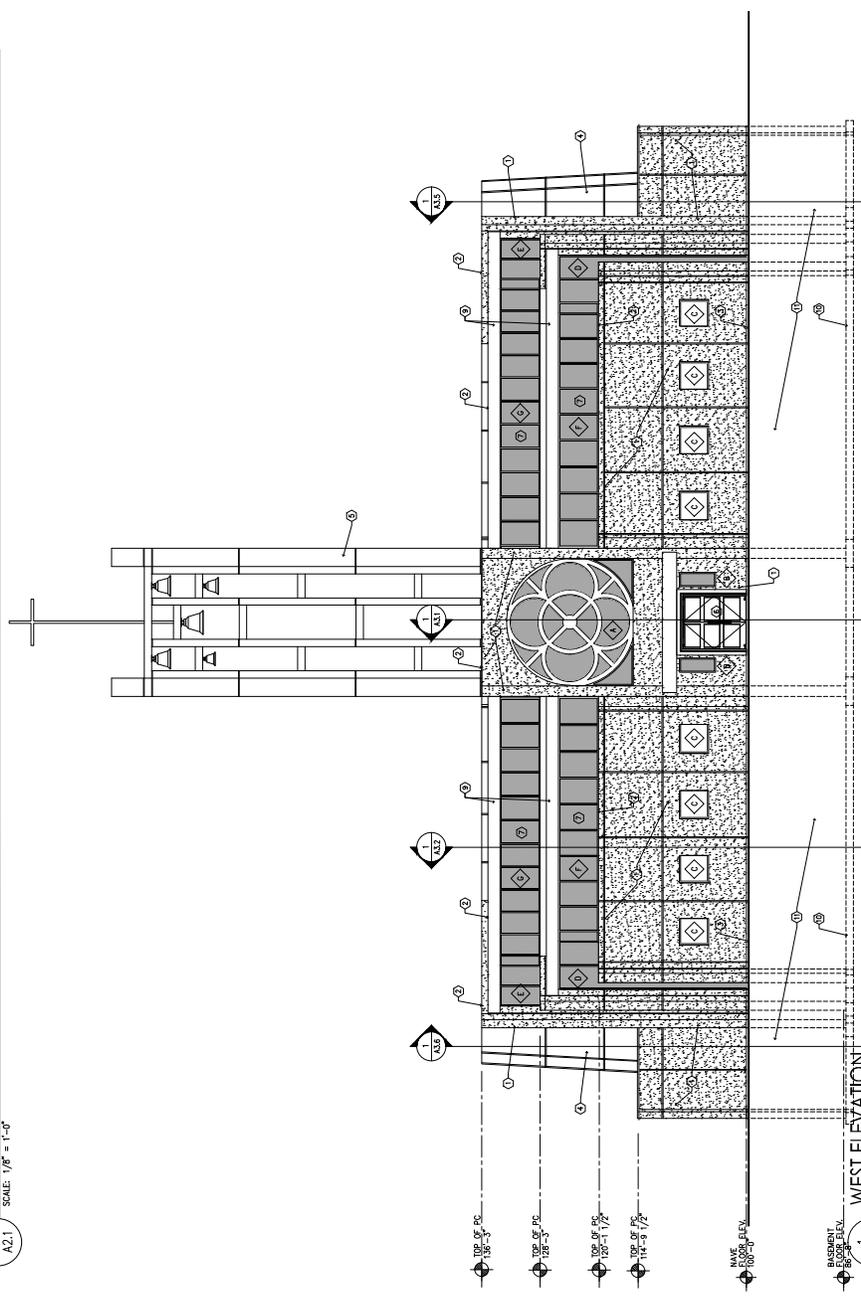
F. ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CINCINNATI AND ALL APPLICABLE CODES AND ORDINANCES.

CONSTRUCTION NOTES

1. 6" THICK ARCHITECTURAL PRECAST CONCRETE WALL. SEE SHEETS A4.1, A4.2 AND A4.3.
2. PRE-FINISHED PREFORMED WOOD BLOCKING PER SPECIFICATIONS.
3. FINISHED GRADE. SEE SITE PLAN.
4. EXISTING EXPOSED AGGREGATE CONCRETE SHALL BE REFINISHED TO A TYPICAL FELD VERIFY EXISTING FINISH.
5. FINISHES PURPOSES AGGREGATE FINISHED CONCRETE SHALL BE TO MATCH EXISTING FINISH. SEE ELECTRICAL FOR NEW LIGHTING.
6. FINISHES PURPOSES AGGREGATE FINISHED CONCRETE SHALL BE TO MATCH EXISTING FINISH. SEE ELECTRICAL FOR NEW LIGHTING.
7. ALUMINUM THERMAL BREAK WINDOWS WITH BRONZE PANELS AND BRONZE GRILLS. SEE WINDOW TYPES AND DETAILS.
8. STAINED GLASS WINDOW.
9. EIFS SYSTEM OVER METAL STUDS. REFER TO SPECIFICATIONS FOR REFERENCE STRUCTURAL.
10. CONCRETE FOOTINGS SHALL BE REFERENCED TO THE FOUNDATION WALL. - SEE SECTION.
11. SMOOTH AND REMOVE OVERHANG - SEE SECTION.
12. REMOVE DECOMPOSITIVE GRILLES.



2 WEST ELEVATION - DEMO
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

dps architects, llc
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cincinnati, ohio 45242
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(513) 465-7808



NEW GATHERING
ST. IGNATIUS LOYOLA PARISH
5222 NORTH BEND RD., CINCINNATI, OH 45247

13/10/20
PROJECT NO.
01.05.2015
DATE
FRONT ELEV
SHEET

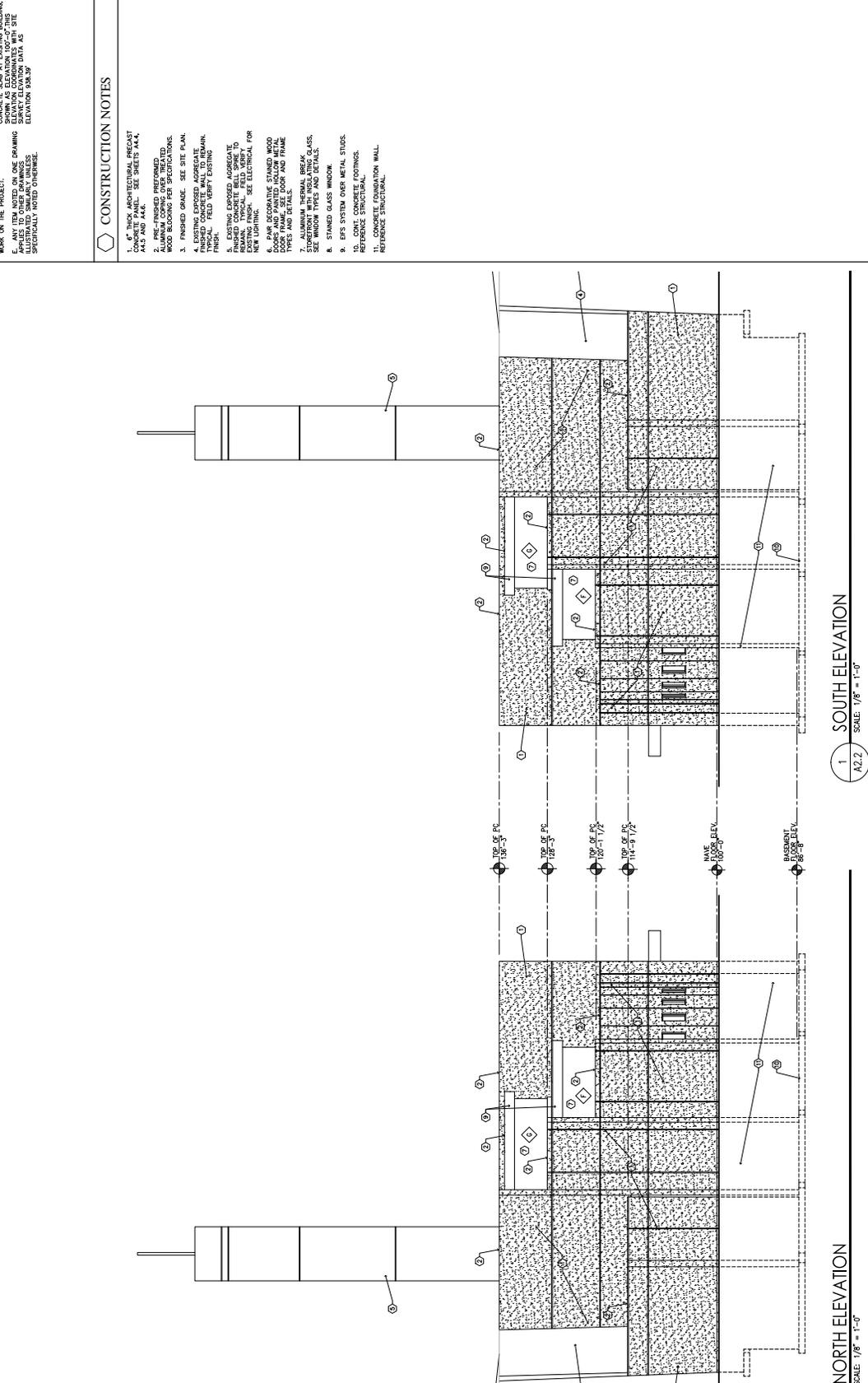
A2.1

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS AND BUILDING CODES, CONCRETE AND MASONRY CONSTRUCTION METHODS AND OTHER APPLICABLE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION WORK AND OTHERWISE BE RESPONSIBLE FOR OBTAINING THE SAME.
- THESE DRAWINGS AND ALL OTHER DRAWINGS IN THIS SET ARE INTENDED TO BE USED TOGETHER WITH THE SPECIFICATIONS AND ALL OTHER DOCUMENTS REFERRED TO IN THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DATA AS SHOWN ON THESE DRAWINGS AND TO CORRECT ANY DISCREPANCIES PRIOR TO SUBMITTING A BID TO THE PROJECT AND TO VERIFY ALL EXISTING CONDITIONS.
- ALL DIMENSIONS AND GRADES SHALL BE SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DATA AS SHOWN ON THESE DRAWINGS AND TO CORRECT ANY DISCREPANCIES PRIOR TO SUBMITTING A BID TO THE PROJECT AND TO VERIFY ALL EXISTING CONDITIONS.
- ANY ITEM NOTED ON ONE DRAWING SHALL BE SHOWN ON ALL OTHER DRAWINGS AND ILLUSTRATED SIMILARLY UNLESS SPECIFICALLY NOTED OTHERWISE.

CONSTRUCTION NOTES

- USE 1/2" THICK ARCHITECTURAL PRECAST CONCRETE PANELS SEE SHEETS A4.1, A4.2 AND A4.4.
- PRE-FINISHED PRECAST CONCRETE PANELS SHALL BE USED FOR ALL EXTERIOR SURFACES.
- FINISHED GRADE. SEE SITE PLAN.
- EXISTING EXPOSED AGGREGATE SHALL BE REFINISHED TO MATCH TYPICAL. FIELD VERIFY EXISTING.
- EXISTING EXPOSED AGGREGATE SHALL BE REFINISHED TO MATCH TYPICAL. FIELD VERIFY EXISTING.
- FINISHED CONCRETE SHALL BE TO MATCH EXISTING FINISH. SEE ELECTRICAL FOR DETAILS.
- ALUMINUM THERMAL BREAK DOORS AND PAINTED GALVALUM METAL DOORS AND FRAME. SEE WINDOW TYPES AND DETAILS.
- STAINED GLASS WINDOW.
- EPS SYSTEM OVER METAL STUDS.
- CONT. CONCRETE FOOTINGS. REFERENCE STRUCTURAL DRAWING FOR DETAILS.
- CONCRETE FOUNDATION WALL. REFERENCE STRUCTURAL DRAWING.



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

13107.00
PROJECT NO.
01.05.2015
DATE
SIDE ELEV
SHEET

A2.2

ST. IGNATIUS LOYOLA PARISH
5222 NORTH BEND RD., CINCINNATI, OH 45247

PREPARED BY: [Name]
CHECKED BY: [Name]
DATE: [Date]

REGISTERED ARCHITECT
STATE OF OHIO
DAVID PATRICK SMERENY
10871

EXPIRES 12.31.2015

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miamisburg, ohio 45342
www.dps-architects.com